

ACCEPTED & APPROVED
By City of Grand Forks, ND
Planning & Zoning Dept.

Name: Bernie H. Blair
Title: Director Planner
Date: 8/20/2013

No.	Description	Date
1	CITY REVIEW	8.08.13

ACME TOOLS
WAREHOUSE & DISTRIBUTION CENTER
1851 48th Street South, Grand Forks, ND 58201

DATE
7/12/2013
PHASE
CONSTRUCTION DOCUMENTS
PROJECT
JLG 0515A
SHEET
LA001R
LANDSCAPE PLAN

LANDSCAPE NOTES:

1. THE LANDSCAPE PLANS ALONE DO NOT COMPLETE THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL REVIEW THE PROJECT MANUAL, PROJECT SPECIFICATIONS, ADDENDUM AND ANY AND ALL SUPPORTING DOCUMENTATION WHICH COMPLETE THE CONSTRUCTION DOCUMENTS SET.
2. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES REGARDING THESE PLANS PRIOR TO PROCEEDING.
3. THE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANTING MATERIALS DEEMED UNACCEPTABLE.
4. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-2004.)
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER FOR NO ADDITIONAL COST TO THE PROJECT.
6. NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT WRITTEN AUTHORIZATION FROM JLG ARCHITECTS OR THE PROJECT OWNER.
7. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS (TREES, SHRUBS AND PERENNIALS) FOR A PERIOD OF (1) YEAR FROM THE DATE OF ACCEPTANCE FROM THE PROJECT REPRESENTATIVE.
8. THE ARCHITECT SHALL VERIFY THE LOCATION OF ALL PLANTING BEDS AND PLANT MATERIALS PRIOR TO INSTALLATION. THE CONTRACTOR SHALL COORDINATE A FIELD VISIT FOR JLG ARCHITECTS AT LEAST TWO BUSINESS DAYS PRIOR TO INSTALLATION FOR LAYOUT REVIEW.
9. ALL PLANTING BEDS (SHRUBS AND PERENNIALS) SHALL RECEIVE A MINIMUM OF 18" OF TOPSOIL. THE TOPSOIL USED IN THESE AREAS SHALL MEET THE REQUIREMENTS OF "SELECT TOPSOIL BORROW" IN ACCORDANCE WITH THE MNDOT SPEC. 387T, TOPSOIL BORROW, 2005 EDITION, SEE SPECS.
10. ALL TREES IN TURF AREAS, AND ALL PLANTING AREAS SHALL BE MULCHED WITH AT LEAST A 4" DEPTH OF MULCH, SEE SPECS.

11. BOULEVARD TREES: PER ORD. 4360: (2) TREES PER 100' LINEAR FEET. 3"- 3 1/2" CALIFER, BALLED AND BURLAPPED, CELTIS OCCIDENTALIS (HACKBERRY). GENERAL LOCATIONS AS INDICATED ON PLAN - FINAL LOCATIONS CHOSEN BY OWNER IN FIELD.

IRRIGATION NOTES:

1. THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM FOR DESIGNATED AREAS OF THE PROJECT.
2. THE CONTRACTOR SHALL DESIGN A SYSTEM FOR THE TURF AREAS WHICH ALLOW 100% COVERAGE OF THE DESIGNATED LAWN AREAS. THE SHRUB & PERENNIALS BEDS SHALL HAVE A DRIP EMITTER, PRESSURE COMPENSATING SYSTEM (NETAFIM TECH LINE, OR APPROVED EQUAL) INSTALLED BELOW THE MULCH LINE WHICH SUPPLIES ADEQUATE WATER TO THE LANDSCAPE MATERIALS.
3. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING TO THE PROJECT REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. THE SHOP DRAWINGS SHOULD INCLUDE, BUT ARE NOT LIMITED TO THE WATER SOURCE LOCATION, TYPE OF CONTROLLER, BACKFLOW PREVENTION, LINE SIZE & MATERIALS, A SCALED SYSTEM LAYOUT MAP, VALVE & HEAD LOCATIONS, WARRANTY, WINTERIZING, TRAINING AND SERVICE MANUALS FOR THE SYSTEM. THE CONTRACTOR SHALL WARRANTY THE SYSTEM PARTS FOR (5) YEARS.

LANDSCAPE NOTES:

PARKING:

OFFICE: 1,105 SF = 9 STALLS
(5 STALLS + 1 PER 300 SF)
WAREHOUSE: 37,919 SF = 19 STALLS
(1 PER 2,000 SF)

PHASE 1 REQUIRED PARKING: 28 + 2 ACCESSIBLE
PHASE 1 PROVIDED PARKING: 74 + 3 ACCESSIBLE

PARKING SETBACK 10'-0"

BUILDING

PHASE 1 BUILDING SF: 40,780 SF
FIRST LEVEL: 40,780 SF
BUILDING HEIGHT: 39'-8"

REQUIRED PARKING LOT LANDSCAPING (5%): 1,965 SF
PARKING LOT LANDSCAPING PROVIDED: 2,482 SF

PROJECT DATA

LEGAL DESCRIPTION: LOT A, BLOCK 1, BUSINESS PARK FIRST ADDITION
ZONING DISTRICT: PUD- ZONING PER ORD. 4360

SITE DATA:

TOTAL PLOT SF: 498,891 SF

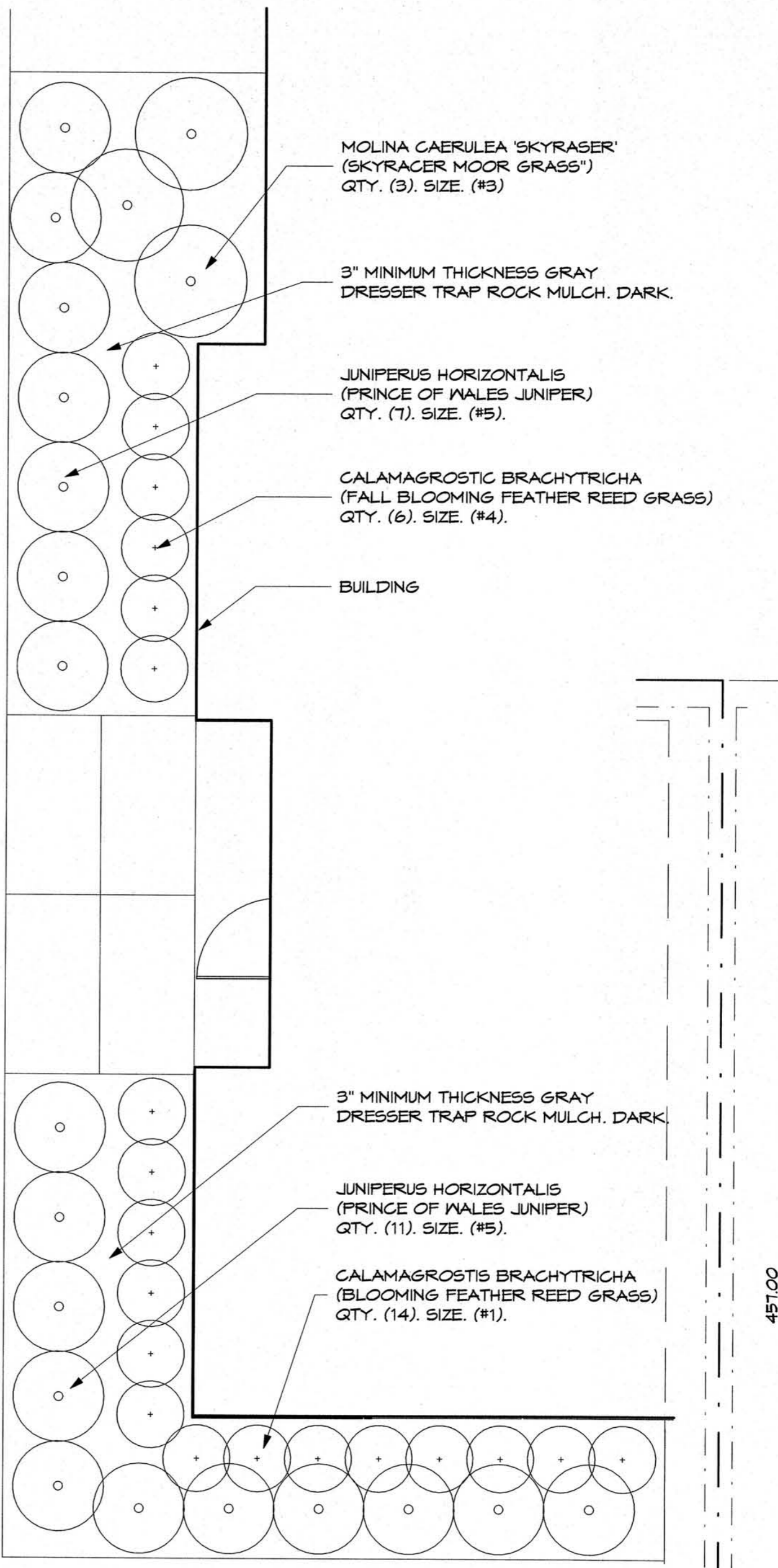
RECTANGULAR PORTION OF SITE SF: 463,102 SF
TRIANGLE PORTION OF SITE SF: 35,789 SF

FRONT SETBACK: 25'-0"
SIDE SETBACK: 15'-0"
REAR SETBACK: 20'-0"

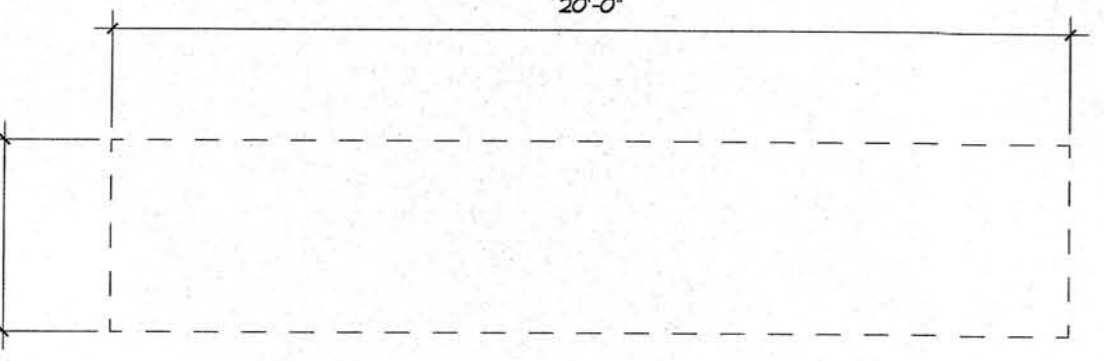
MAX IMPERVIOUS: 424,051 SF, (85%)
ACTUAL IMPERVIOUS AREA: 146,160 SF, (29%)
FIRST FLOOR ELEVATION: 367.50

GENERAL NOTES:

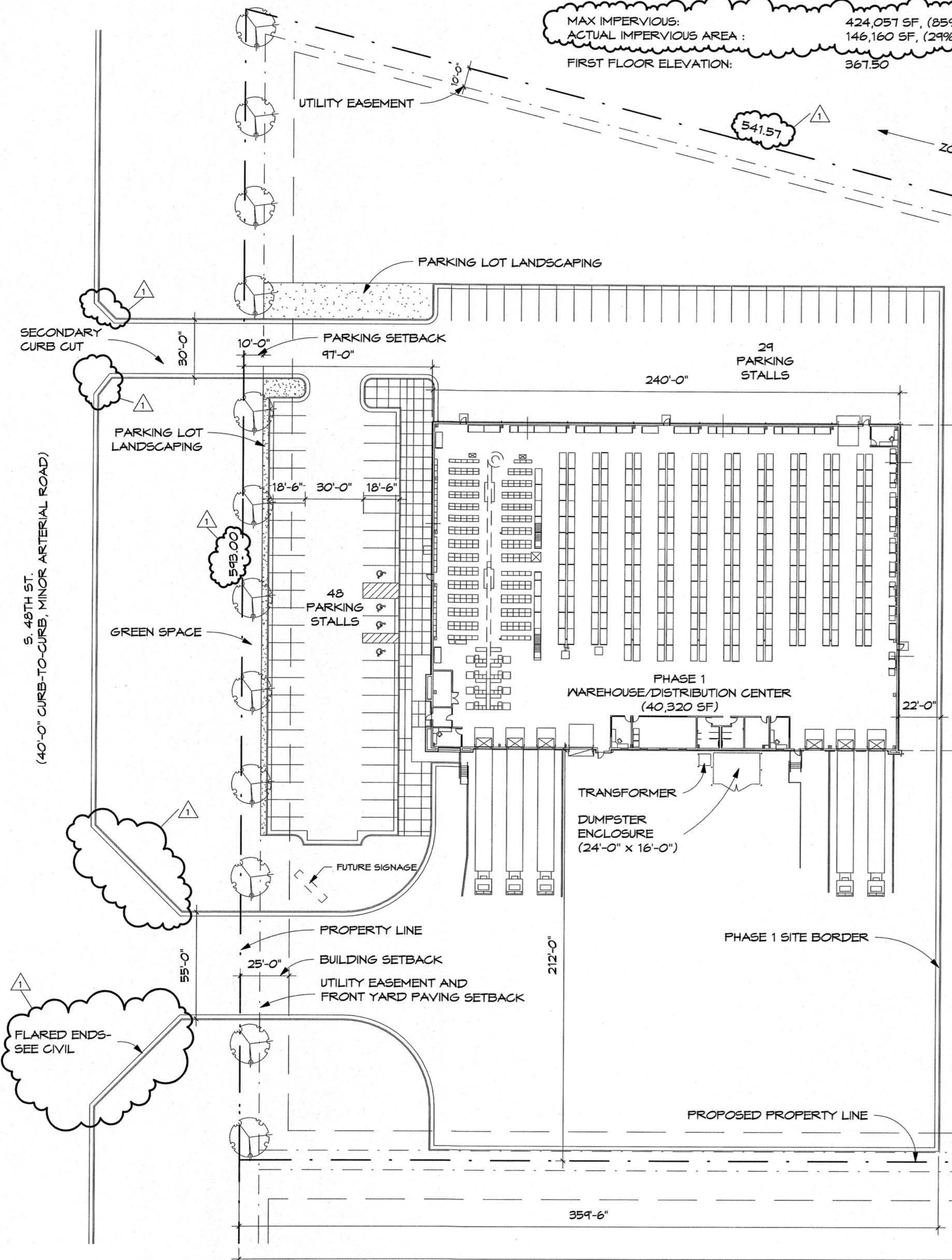
1. ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GRAND FORKS STANDARD CONSTRUCTION SPECIFICATIONS. PRIOR TO DOING ANY WORK IN THE CITY RIGHT-OF-WAY THE CONTRACTOR SHALL CALL THE ENGINEERING DEPARTMENT AT 746-2640.
2. ALL DRIVEWAYS LEADING TO REFUSE CONTAINERS SHALL BE CONSTRUCTED OF 6" CONCRETE WITH A MINIMUM 6" COMPACTED BASE.
3. ALL LANDSCAPING SHALL BE PROTECTED FROM VEHICULAR TRAFFIC BY A STANDARD CONCRETE CURB AND GUTTER.
4. ALL SIGNS TO BE APPROVED BY THE GRAND FORKS INSPECTIONS DEPARTMENT (CONVENTIONAL ZONING) OR PLANNING DEPARTMENT (PLANNED UNIT DEVELOPMENT).



2 LANDSCAPE PLAN @ MAIN ENTRY
1/4" = 1'-0"



3 MONUMENT SIGN
1/4" = 1'-0"



1 SITE PLAN
1" = 40'-0"

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