

NOTES

REFER TO CIVIL DRAWINGS FOR LOCATION OF UTILITIES AND SITE DRAINAGE.
 ALL UNDERGROUND UTILITY WORK PERFORMED WITH THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GRAND FORKS STANDARD CONSTRUCTION SPECIFICATIONS. PRIOR TO DOING ANY WORK IN THE CITY RIGHT-OF-WAY THE CONTRACTOR SHALL CALL THE ENGINEERING DEPARTMENT 746-2640.
 LANDSCAPING SHALL CONFORM TO SECTION 18-0309.
 APPROACHES INSTALLED TO GRAND FORKS SPECIFICATIONS.

ALL SIGNS SHALL BE APPROVED BY THE GRAND FORKS PLANNING DEPARTMENT.
 CONTACT CITY ENGINEERING DEPARTMENT FOR STORMWATER RUNOFF PERMIT REQUIREMENTS (ROSS LAGASSE @ 701-746-2643).
 IF REQUIRED, GENERAL CONTRACTOR TO SUBMIT A STORMWATER RUNOFF PERMIT TO THE PLANNING DEPARTMENT, WHICH MUST BE APPROVED PRIOR TO FINAL SITE PLAN APPROVAL.

EXTERNAL STORAGE AREAS TO CONFORM TO SECTION 18-309 (3) (A).
 DRIVEWAYS/APPROACHES TO REFUSE CONTAINERS SHALL BE CONSTRUCTED WITH 6" CONCRETE AND CLAY SUB-BASE COMPACTED TO 90% MAX DENSITY.

LEGAL DESCRIPTION	ADDRESS
LOT A (REPLAT L2), BLOCK 1 OF FLATT-MIKKELSON ADDITION G.L.S. PROPERTY NO. 4416080002001	3900 S. 11TH ST. GRAND FORKS, ND
LOT B (REPLAT L2), BLOCK 1 OF FLATT-MIKKELSON ADDITION G.L.S. PROPERTY NO. 4416080002002	3950 S. 11TH ST. GRAND FORKS, ND

NOTE: THESE TWO LOTS TO BE JOINED INTO ONE LOT.

SITE DATA	PARKING DATA
B-1 LIMITED BUSINESS DISTRICT	
BUILDING LOT (1.72 ACRES)	EFFICIENCY = 2 OFF-STREET SPACES x 4 UNITS = 8
BUILDING AREA (3 STORES - NO BASEMENT)	1 BEDROOM = 2 OFF-STREET SPACES x 6 UNITS = 12
GREEN SPACE	2 BEDROOM = 2.25 OFF-STREET SPACES x 12 UNITS = 27
PAVED AREA (DETACHED GARAGES, SIDEWALKS & PARKING)	3 BEDROOM = 2.5 OFF-STREET SPACES x 6 UNITS = 15
TOTAL IMPERVIOUS SURFACE AREA	TOTAL SPACES REQUIRED = 62
MAX IMPERVIOUS SURFACE AREA ALLOWED	PARKING PROVIDED = 71
BUILDING HEIGHT (6 STORES NOT > 75'-0" PROVIDED = 34'-8 7/8")	ADA PARKING REQUIRED = 3 SPACES
	ADA PARKING PROVIDED = 3 SPACES (1 VAN)

ZONING REQUIREMENTS

ZONE B-1
 ALLOWABLE IMPERVIOUS AREA = 65.0%

SETBACKS
 PRINCIPAL BLDG.
 FRONT YARD = 25' PLUS ONE ADDITIONAL FOOT IN HEIGHT WHEN THE BUILDING EXCEEDS 25 FEET. (34'-8 7/8")
 SIDE YARDS = 1/4 THE BUILDING HEIGHT (.25% OF 34'-8 7/8" = 8'-8 1/4")
 REAR YARD = 20'-0"

PAVING
 SETBACKS
 SIDE AND REAR YARD PAVING SETBACK = 5' MIN.
 PAVING FROM PRINCIPAL BUILDING 10' MIN.
 FRONT YARD SETBACK 10' EXCEPT DRIVEWAYS

LANDSCAPING REQUIREMENTS

LANDSCAPING SHALL INCLUDE, IN ANY COMBINATION, FROM THE FOLLOWING:

- SHADE TREE: 2 1/2 INCH TO 3 INCH CALIPER
- ORNAMENTAL TREE: 2 INCH TO 2 1/2 INCH CALIPER
- EVERGREEN TREE: 3 1/2 FEET TO 4 FEET IN HEIGHT

60% CANOPY COVERAGE REQUIRED IN OPEN SPACE

LEGEND

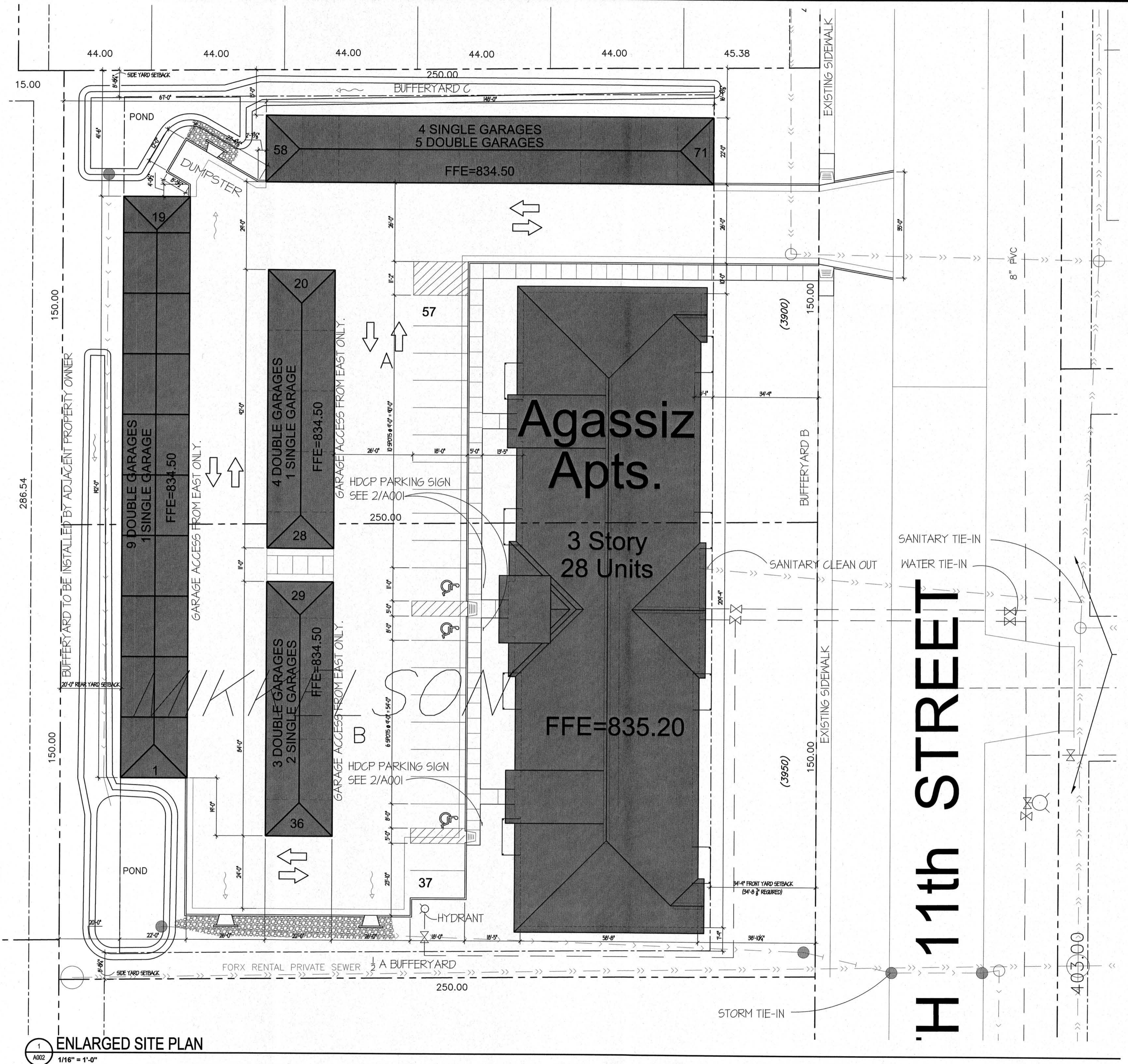
---	PROPERTY LINE	---	DRAINAGE DIRECTION
---	SETBACK	○	MANHOLE / INLET
---	WATER LINE	○	FIRE HYDRANT
---	STORM SEWER		
---	SANITARY SEWER		

APPROVAL

APPROVED BY: *Roxanne M. Aulen*

TITLE: *Senior Planner*

DATE: *3/16/2013*



1 ENLARGED SITE PLAN
 A002 1/16" = 1'-0"

ICON ARCHITECTURAL GROUP

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 GRAND FORKS, ND 58201
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 WWW.ICONARCHITECTS.COM

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 Environmental Services
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AGASSIZ PLACE APARTMENTS #2
 JM Homes
 3900 South 11th Street
 Grand Forks, ND

No.	Description	Date
1	CITY REVISIONS	10-01-12
2	CITY REVISIONS	10-19-12

DRAWN BY: TSKD JH: 13-002

1" = 30'-0"

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF NORTH DAKOTA.
 PRINT NAME: TODD D. MITZEL

SIGNATURE: *Todd D. Mitzel*
 DATE: 02/15/13
 LICENSE #: 1330

PHASE
Construction Documents

DATE
 02/15/13

ENLARGED SITE PLAN

SHEET
A002