

**NOTES**  
 ALL UNDERGROUND UTILITY WORK PERFORMED WITH THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GRAND FORKS STANDARD CONSTRUCTION SPECIFICATIONS.  
 LANDSCAPING SHALL CONFORM TO SECTION 18-0304 OF THE LAND USE DEVELOPMENT CODE.  
 APPROACHES INSTALLED TO GRAND FORKS SPECIFICATIONS.  
 ALL SIGNS SHALL BE APPROVED BY THE GRAND FORKS PLANNING DEPARTMENT.  
 CONTRACTOR REQUIRED TO NOTIFY NORTH DAKOTA STORM-WATER REGULATORY AGENCY FOR STORM-WATER RUNOFF PERMITS REQUIREMENTS PRIOR TO CONSTRUCTION (ABBIE KREBSBACH # 1 701 328 5242)  
 DRIVEWAYS/APPROACHES TO REFUSE CONTAINERS SHALL BE CONSTRUCTED WITH 6 INCH CONCRETE AND CLAY CURB-BASE COMPACTED TO 98% MAXIMUM DENSITY.

LEGAL DESCRIPTION	ADDRESS
LOT E, BLOCK 1, HAAKE 2ND ADDITION, CITY OF GRAND FORKS, NORTH DAKOTA	2606 13TH AVENUE SOUTH

SITE DATA	PARKING DATA
MIXED USE PLANNED UNIT DEVELOPMENT	PARKING REQUIRED FOR R4 MULTI-FAMILY = (05) 1 BEDROOM @ 2.00 + 30 OFF STREET SPACES
BUILDING LOT (2.31 ACRES)	(10) 2 BEDROOM @ 2.25 + 42.75 OFF STREET SPACES
BUILDING AREA (FOOTPRINT)	(17) 3 BEDROOM @ 2.5 + 42.75 OFF STREET SPACES
GREEN SPACE	TOTAL REQUIRED = 116 (46 UNDERGROUND)
PAVED AREA (SIDEWALKS & PARKINGS)	PARKING PROVIDED = 90 SURFACE SPACES PROVIDED (INCLUDING 5 ADA) (46 UNDERGROUND)
TOTAL IMPERVIOUS SURFACE AREA	TOTAL PROVIDED = 196
MAX IMPERVIOUS SURFACE AREA ALLOWED	
BUILDING HEIGHT - FOUR (4) STORIES (OR SEVENTY-FIVE (75) FEET)	

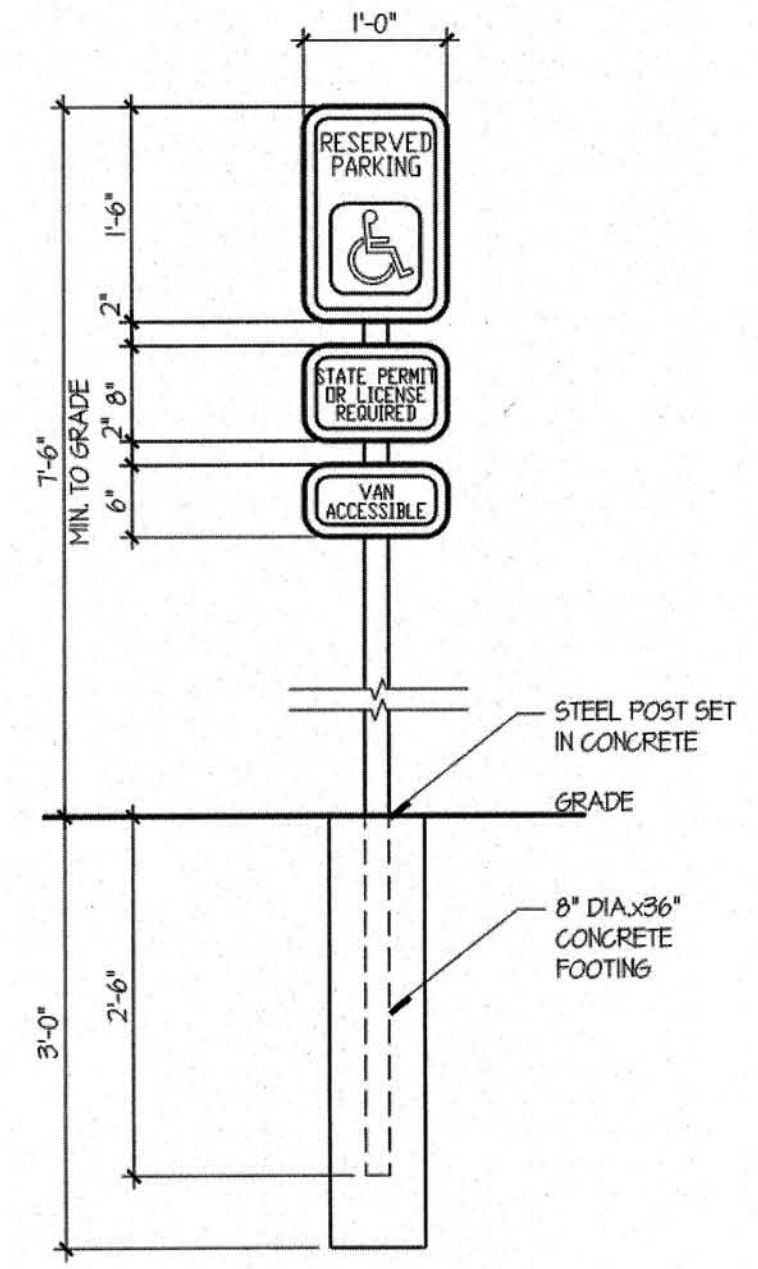
**ZONING REQUIREMENTS**  
 ZONE - HAAKE RID - R4  
 ALLOWABLE IMPERVIOUS AREA = 55.0%  
 USABLE OPEN SPACE = 10% OF LOT AREA = 10,075  
**SETBACKS**  
 PRINCIPAL BLDG.  
 FRONT YARD = 25' + 1' FOR EVERY 1' OF BLDG. HEIGHT EXCEEDING 25' = 60'-0"  
 SIDE YARDS = 10'  
 REAR YARD = 80'  
**PAVING**  
 SETBACKS  
 SIDE AND REAR YARD PAVING SETBACK = 5' MIN. (0' @ ADJACENT RESIDENTIAL PROPERTY)  
 PAVING FROM PRINCIPAL BUILDING 10' MIN.  
 FRONT YARD SETBACK 10' EXCEPT DRIVEWAYS

**LANDSCAPING REQUIREMENTS**  
 NOT LESS THAN 5% OF THE INTERIOR OF A PARKING LOT SHALL BE LANDSCAPED  
 LANDSCAPING SHALL INCLUDE, IN ANY COMBINATION, FROM THE FOLLOWING:  
 1. SHADE TREE, 2 INCH TO 2 1/2 INCH CALIPER  
 2. ORNAMENTAL TREE, 2 INCH TO 2 1/2 INCH CALIPER  
 3. EVERGREEN TREE, 3 1/2 FEET TO 4 FEET IN HEIGHT  
 75% CANOPY COVERAGE REQUIRED IN OPEN SPACE  
 BUFFER YARD REQUIREMENTS PER 100 FEET (APPENDIX B): BUFFER YARD TYPE E  
 1. 3 SHADE TREES, 2 INCH TO 2 1/4 INCH CALIPER  
 2. 4 ORNAMENTAL TREES, 1 1/2 INCH TO 2 INCH CALIPER  
 3. 5 EVERGREEN TREES, 5 FEET TO 6 FEET IN HEIGHT  
 4. 5 SHRUBS, 18 INCHES TO 24 INCHES IN HEIGHT  
 5. FENCE TYPE P2 (APPENDIX B), CEDAR FENCE AT MINIMUM HEIGHT OF 6'-0"

**LEGEND**

---	PROPERTY LINE	→	DRAINAGE DIRECTION
- - -	EASEMENT	○	MANHOLE / INLET
---	SETBACK	○	FIRE HYDRANT
---	WATER LINE		
---	STORM SEWER		
---	SANITARY SEWER		

**APPROVAL**  
 APPROVED BY: *[Signature]*  
 TITLE: Senior Planner  
 DATE: 3/19/13



2 H.C. SIGNAGE  
 A001 3/4" = 1'-0"



1 OVERALL SITE PLAN  
 A001 1" = 50'-0"

**ICON ARCHITECTURAL GROUP**  
 4050 GARDEN VIEW DRIVE SUITE 101  
 GRAND FORKS, ND 58201  
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 WWW.ICONARCHITECTS.COM  
 STRUCTURAL

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 MECHANICAL

ELECTRICAL

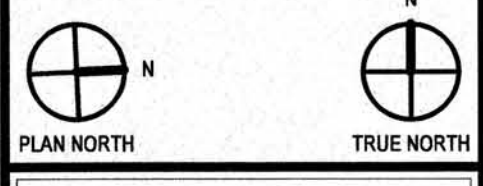
CIVIL  
 AE2S, Inc.  
 4050 Garden View Drive Suite 200  
 Grand Forks, North Dakota 58201  
 (701) 746.8087 Office  
 (701) 746.0370 Fax

**BOULDER APARTMENTS**  
**OXFORD REALTY**  
 2606 13th Avenue South  
 Grand Forks, ND 58201

**Revision Schedule**

No.	Description	Date

DRAWN BY: DAHJ JIC 12-108



NOT FOR CONSTRUCTION

PHASE  
 Construction Documents

DATE  
 12/10/12

SITE PLAN

SHEET  
**A001**