

Layout: COT DESIGN DEVELOPMENT PLAN
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- NOTES**
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF GRAND FORKS STANDARD CONSTRUCTION SPECIFICATIONS. PRIOR TO DOING ANY WORK IN THE CITY RIGHT-OF-WAY THE CONTRACTOR SHALL CALL THE ENGINEERING DEPARTMENT AT 746-2943.
 - ALL LANDSCAPING SHALL BE PROTECTED FROM VEHICULAR TRAFFIC BY STANDARD CONCRETE CURB AND GUTTER. LANDSCAPING SHALL CONFORM TO SECTION 18-0309.
 - DRIVEWAYS THAT CONNECT TO PUBLIC RIGHT-OF-WAY SHALL BE BUILT ACCORDING TO THE CITY OF GRAND FORKS STANDARD CONSTRUCTION MANUAL.
 - ALL SIGNS TO BE APPROVED BY THE GRAND FORKS INSPECTIONS DEPARTMENT (CONVENTIONAL ZONING) OR PLANNING DEPARTMENT (PLANNED UNIT DEVELOPMENT).
 - ALL DRIVEWAYS/APPROACHES LEADING TO REFUSE CONTAINERS SHALL BE CONSTRUCTED OF MINIMUM 6-INCH CONCRETE WITH A CLAY SUB-BASE COMPACTED TO 95% MAXIMUM DENSITY. FINAL DRIVEWAY/APPROACHES TO BE CONSTRUCTED TO GRAND FORKS SPECIFICATIONS.
 - CONTACT CITY ENGINEERING DEPARTMENT FOR STORM WATER RUNOFF PERMIT REQUIREMENT. (701-746-2644) A STORM WATER POLLUTION PREVENTION PLAN MUST BE APPROVED PRIOR TO FINAL SITE PLAN APPROVAL.
 - FINAL UTILITY LAYOUT WILL BE APPROVED BASED ON CONSTRUCTION PLANS.
 - SOLID WASTE ENCLOSURE WILL BE CONSTRUCTED OF OPAQUE MATERIAL MEETING CITY STANDARDS AT LEAST 5 FEET IN HEIGHT.
 - DRAINAGE STRUCTURE TO BE MAN-HOLE OR SIMILAR STRUCTURE APPROVED BY CITY ENGINEERING DEPARTMENT.
 - ALL SANITARY SEWER SHALL BE SDR 35 PVC ASTM D3034.

LEGAL DESCRIPTION
 BLOCK 18 - LOTS 2, 4, 6, 8, 10, 12, 14, 16, 18, 20
 CITY OF GRAND FORKS, ND

ADDRESS
 1020 SOUTH WASHINGTON STREET
 GRAND FORKS, ND

SITE DATA

LOT 1 (ZONE B-3)	
SQ. FT.	%
BUILDING LOT	34,992 100.0%
BUILDING AREA (INCLUDES EXISTING & PROPOSED ADDITION)	9,363 26.8%
GREEN SPACE (PERVIOUS AREA)	6,443 18.4%
PAVED AREA (SIDEWALKS & PARKING)	20,149 57.6%
TOTAL IMPERVIOUS SURFACE AREA	29,512 84.4%
MAX IMPERVIOUS SURFACE AREA ALLOWED	29,710 85.0%

PARKING DATA

PARKING REQUIRED
 4.50 SPACES / 1,000 S.F. GROSS S.F. = 42 SPACES
 2.24 SPACES / 2 BEDROOM * 2 = 4.5 SPACES
 46.5 SPACES (FOR PROPOSED BUILDING)

PARKING PROVIDED
 PROPOSED PARKING PROVIDED = 47 SPACES
 ADA PARKING REQUIRED = 2 SPACES
 ADA PARKING PROVIDED = 2 SPACES

BUILDING HEIGHT REQUIREMENTS

BUILDING HEIGHT 4 STORIES OR 50' IN HEIGHT MAXIMUM
 PLANNED 2 STORIES, 25'
 1ST STORY - COMMERCIAL USE, 2ND STORY TWO - 2 BEDROOM APARTMENTS

SETBACK REQUIREMENTS

FRONT YARD - 25 FT MINIMUM PLUS 1 FT FOR EVERY FOOT THE BUILDING IS OVER 25 FT HEIGHT
 SIDE YARD - 7 FT MINIMUM FOR BUILDINGS NOT EXCEEDING 3 STORIES, WHEN OVER 3 STORIES, SIDEYARD SHALL BE 1/4 OF HEIGHT, OR 7 FT, WHICHEVER IS GREATER
 REAR YARD - 20 FT MINIMUM AND ALLEY CANNOT BE COUNTED TOWARDS THIS SETBACK

ZONING REQUIREMENTS

ZONE B3 USES PRIMARILY DESIGNATED TO RETAIL SERVICES AND SALES OF GOODS.
 IMPERVIOUS SURFACE AREA SHALL NOT EXCEED EIGHTY-FIVE (85) PERCENT OF THE LOT AREA.

LANDSCAPING REQUIREMENTS

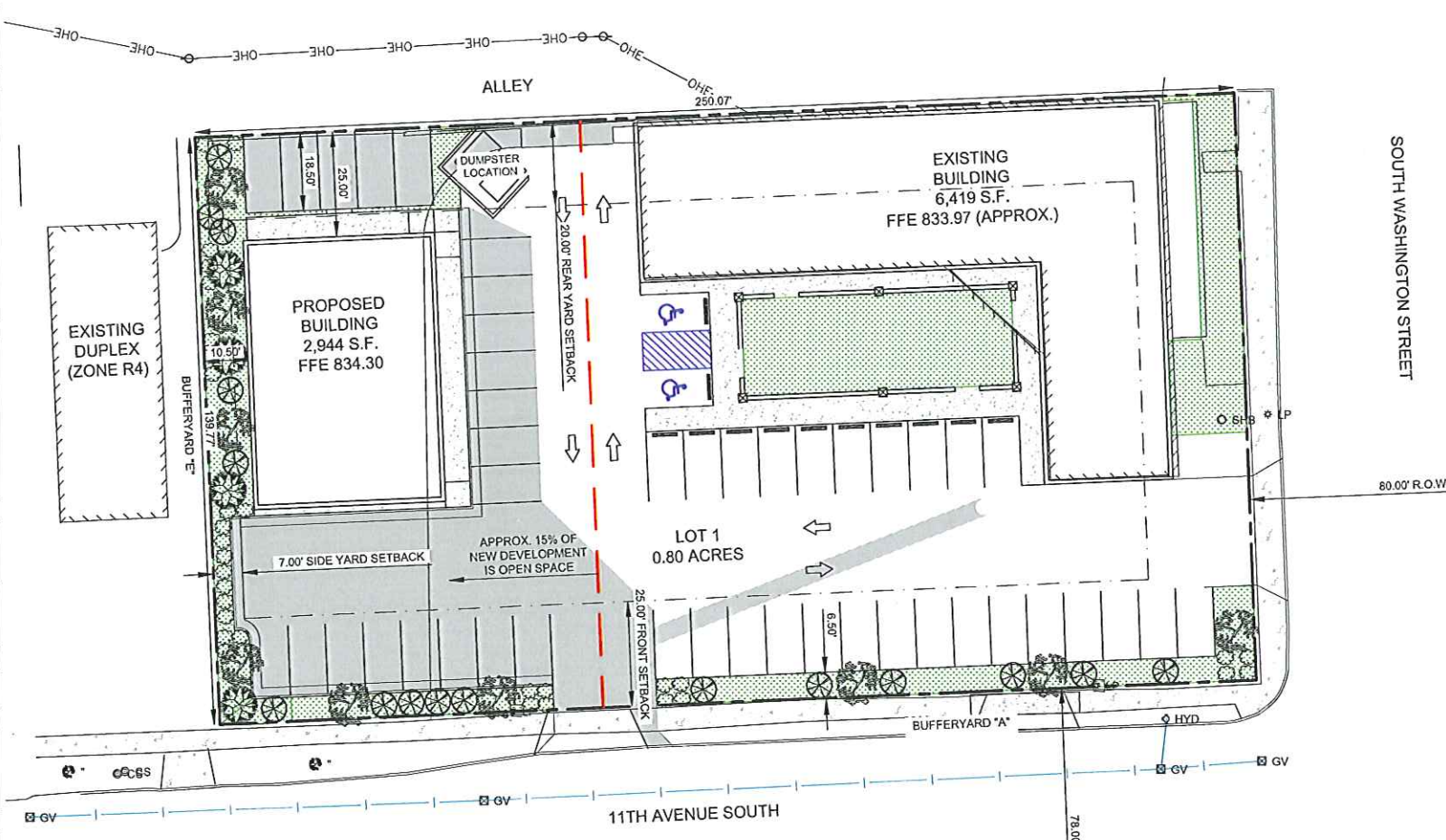
ZONE B-3 SHALL HAVE MINIMUM 75% CANOPY COVERAGE OF REQUIRED OPEN SPACE.
 TREE CANOPY CALCULATED AS SHADE TREES PROVIDING 500 SQUARE FEET AND ORNAMENTAL TREES PROVIDING 250 SQUARE FEET

LEGEND

☐ TELEPHONE PEDESTAL	—E— UNDERGROUND ELECTRIC
○ GUY WIRE	—O— OVERHEAD ELECTRIC
⊕ POWER POLE	—F— FIBER OPTIC
⊙ LIGHT POLE	—G— GAS LINE
⊕ GAS VALVE	—W— WATERMAIN
⊕ GAS METER	—S— SANITARY SEWER
⊕ ELECTRIC METER	—G— GRAVEL SURFACE
⊕ ELECTRIC BOX	—A— ASPHALT SURFACE
○ BOLLARD	—E— EXISTING LOTS / RIGHT OF WAY
○ SANITARY SEWER MANHOLE	—P— PROPERTY BOUNDARY
○ SANITARY SEWER CLEANOUT	—E— EASEMENT LINE
○ STORM SEWER MANHOLE	—B— BUILDING FOOTPRINT
⊕ WATERMAIN - HYDRANT	—F— PROPOSED FENCE
⊕ WATERMAIN - GATE VALVE	—S— PROPOSED STORM SEWER

APPROVAL

APPROVED BY: *Roxanne Achman*
 TITLE: Senior Planner
 DATE: 10/31/2013



This document was originally issued and sealed by Jarda Solc, PE, Registration Number PE-7373 on 10/31/2013 and the original documents are stored at the Grand Forks office of Advanced Engineering & Environmental Services, Inc.

SYM	DATE	DESCRIPTION	APPR
1	09/03/13	CITY COMMENTS	



CAULFIELD SITE
 1020 SOUTH WASHINGTON STREET
 GRAND FORKS, ND
 DESIGN DEVELOPMENT PLAN

DRAWING TYPE	---
PREPARED BY	AH
CHECKED / APPROVED	JS / JS
DATE	AUGUST 2013
PROJECT NUMBER	P11493-2012-00
SHEET	1 of 9
DRAWING	C01

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