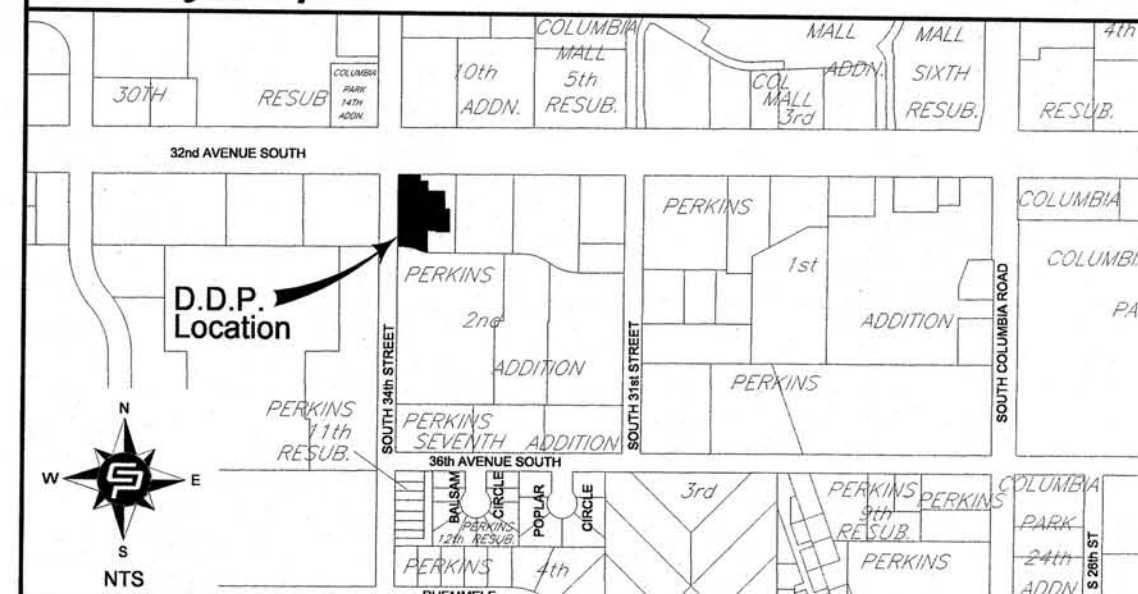


32ND AVENUE SOUTH (EAST BOUND LANE)
Concrete Pavement

Vicinity Map



Legend

Property Line	Proposed Sign
Existing Lot Line	Proposed Sanitary Sewer
Easement Line	Proposed Manhole
Existing Sanitary Sewer	Proposed Storm Sewer
Existing Manhole	Proposed Catch Basin
Existing Storm Sewer	Proposed Area Inlet
Existing Catch Basin	Proposed Cleanout
Existing Watermain	Proposed Watermain
Existing Fire Hydrant	Proposed Fire Hydrant
Existing Light Pole	Proposed Gate Valve
Existing Curb & Gutter	Proposed Light Pole
Existing Sign	High Point Line
Existing Electrical Pedestal	Flow Arrow
Proposed Curb & Gutter	Proposed Elevation

Data Summary Chart

	Square Feet	Percentage
Building Lot	54,080	100.0 %
Building	6,488	12.0 %
Paving / Sidewalk	31,027	57.4 %
Impervious Surface Area	37,515	69.4 %
Max Impervious Area	45,968	85.0 %
Open Space	16,565	30.6 %

Parking Formula

Banks: One (1) space per two hundred (200) square feet gross floor area, and One (1) space per employee on the largest work shift, plus four (4) off-street waiting (loading) spaces per drive-in lane.

Parking Spaces Required: = 43
Loading Parking Spaces Required: = 12
ADA Spaces Required: = 2
Total Required Parking = 55

Parking Spaces Provided: = 43
Loading Parking Spaces Provided: = 15
ADA Spaces Provided: = 2
Total Provided Parking = 58

Notes:

- Information for underground utility locations, sizes and materials was compiled from maps and records, supplemented by field locations of facilities visible at ground level.
- Watermains have approximately 8 feet of cover.
- Existing utilities are shown in approximate manner only, contractor shall verify location, size, material, and elevation of all underground utilities, whether or not shown on this drawing. As necessary to accommodate proposed construction.
- Contractor shall notify North Dakota One Call (1-800-795-0555) 48 Hours, (two) working days, not including holidays or weekends prior to any excavation on site.
- Contractor shall examine site to determine any changes in topography which may have occurred since the time of survey.
- Contact City of Grand Forks Inspector at 701-746-2651 prior to working in Right of Way.
- All underground utility work within the City Right of Way shall be done in accordance with the City of Grand Forks Standard Construction Specifications. The Detail Development Plan is subject to approval by the Grand Forks Engineering Department.
- Landscaping shall conform to Section 18-0309 of the Grand Forks City Code. All landscaping shall be protected from vehicular traffic by standard concrete curbing and gutter.
- All driveways shall be installed according to the Grand Forks Construction Standard Manual.
- The location and detailed drawings of all signs must be submitted to the Planning Department prior to the sign permit being issued.
- Minimum ground elevation adjacent to a dwelling shall be 1 foot above existing ground.
- The exterior mechanical equipment shall be adequately screened.
- All Driveways and Paved Accesses Leading to Refuse Containers Shall be Constructed of 6" Pavement With 12" Compacted Base.
- Handicap ramps must meet ADA Standards including detectable warning panels.

Address: 3351 32nd Avenue South

Zoning: Perkins Second P.U.D. - B3 Type Uses

Legal Description:

Lot L, Block 1 of the Replat of Lot H, Block 1, Perkins Second Addition of the Replat of Lot E, Block 1, Perkins Second Addition of the Replat of Lot A, Block 1 of the Replat of Lot 2, Block 1, Perkins Second Addition to the City of Grand Forks, North Dakota

Citizens Community Credit Union
Detailed Development Plan

APPROVED BY GRAND FORKS PLANNING DEPARTMENT ON: _____ BY: _____

Designed By: MSS

Drawn By: MSS

Checked By: DDW

Date: 04-23-2013

File: As Shown

Scale: As Shown



308 2nd Avenue North | Grand Forks, ND 58203
P: 701.746.7459 | F: 701.746.8948
www.cpsnd.com

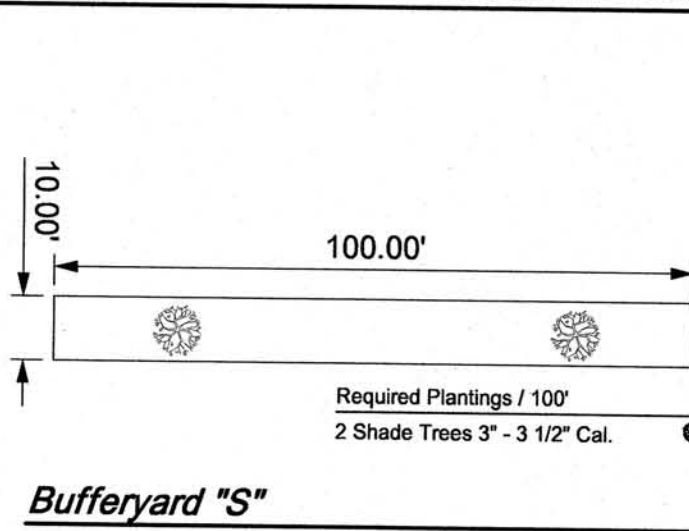
SHEET

1 of 1

ACCEPTED & APPROVED
By City of Grand Forks, ND
Planning & Zoning Dept.

Name: Spencer Adams
Title: Senior Planner
Date: May 16, 2013

Standard Curb & Gutter Field Shot Abbreviations



Bufferyard "S"

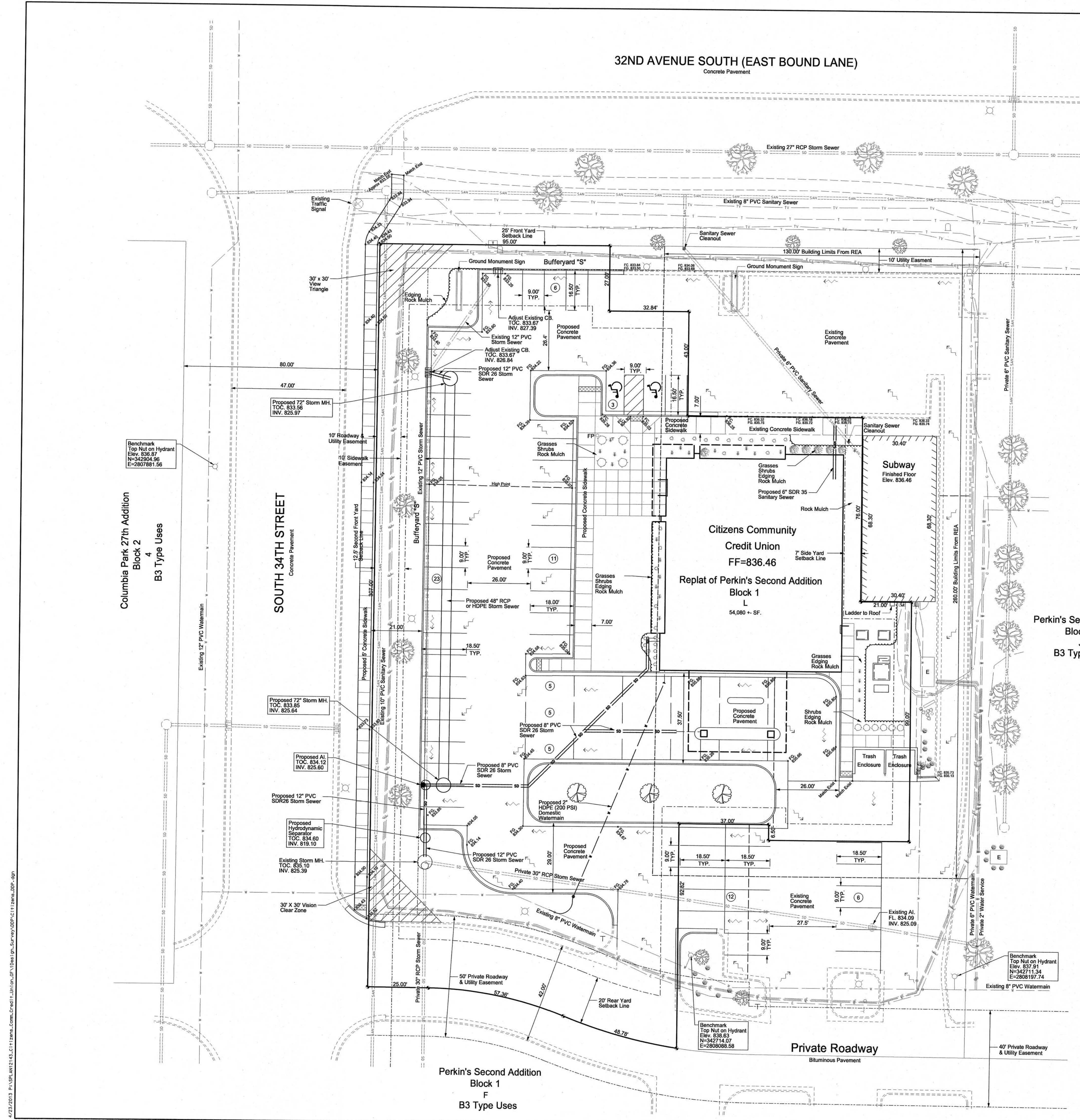


RECEIVED
APR 25 2013
GRAND FORKS CITY
PLANNING DEPARTMENT

Perkin's Second Addition
Block 1
F
B3 Type Uses

Perkin's Second Addition
Block 1
J
B3 Type Uses

Citizens Community
Credit Union
FF=836.46
Replat of Perkin's Second Addition
Block 1
L
54,080 + SF.



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