

Legend

Boundary Line	Existing Culvert	Proposed Curb & Gutter	Proposed Sign
Existing Lot Line	Existing Spot Elevation	Proposed Sanitary Sewer	Proposed Manhole
Setback Line	Proposed Curb & Gutter	Proposed Storm Sewer	Proposed Catch Basin
Easement Line	Proposed Sign	Proposed Area Inlet	Proposed Watermain
Access Control Line	Proposed Sanitary Sewer	Proposed Fire Hydrant	Proposed Gate Valve
Existing Sanitary Sewer	Proposed Manhole	Proposed Fire Hydrant	Proposed Gate Valve
Existing Storm Sewer	Proposed Catch Basin	Proposed Fire Hydrant	Proposed Gate Valve
Existing Catch Basin	Proposed Storm Sewer	Proposed Fire Hydrant	Proposed Gate Valve
Existing Watermain	Proposed Area Inlet	Proposed Fire Hydrant	Proposed Gate Valve
Existing Fire Hydrant	Proposed Watermain	Proposed Fire Hydrant	Proposed Gate Valve
Existing Gate Valve	Proposed Fire Hydrant	Proposed Fire Hydrant	Proposed Gate Valve
Existing Light Pole	Proposed Gate Valve	Proposed Fire Hydrant	Proposed Gate Valve
Existing Curb & Gutter	Proposed Gate Valve	Proposed Fire Hydrant	Proposed Gate Valve
Existing Sign	High Point Line	Proposed Light Pole	Proposed Light Pole
Existing Electrical Pedestal	Flow Arrow	Proposed Light Pole	Proposed Light Pole
Existing Electrical Line	Proposed Grade Elevation	Proposed Light Pole	Proposed Light Pole
Existing Gas Line	Proposed Deciduous Tree	Proposed Light Pole	Proposed Light Pole
Existing Telephone Line	Proposed Shrub	Proposed Light Pole	Proposed Light Pole
Existing Bituminous Pavement		Proposed Light Pole	Proposed Light Pole

Data Summary Chart:

Building Lot	Square Feet	Percentage
Buildings	203,302	100.0%
Garages	29,040	14.4%
Paving / Sidewalk	56,820	27.9%
Impervious Surface Area	120,262	59.2%
Max Impervious Area	121,981	60.0%
Open Space	83,040	40.8%

Parking Formula:

Multifamily (including townhomes): One (1) bedroom: Two (2) off-street spaces. Two (2) bedrooms: Two and one-quarter (2.25) off-street spaces. Three (3) Bedrooms or more: Two and one-half (3.0) off-street spaces.

40 Plex
 One (1) bedroom: 10 apartments x 2.00 = 20 parking spaces
 Two (2) bedroom: 24 apartments x 2.25 = 54 parking spaces
 Three (3) Bedroom: 6 apartments x 3.00 = 18 parking spaces

34 Plex
 One (1) bedroom: 10 apartments x 2.00 = 20 parking spaces
 Two (2) bedroom: 18 apartments x 2.25 = 41 parking spaces
 Three (3) Bedroom: 6 apartments x 3.00 = 18 parking spaces

Parking spaces required:
 40 Plex = 92 parking spaces
 32 Plex = 79 parking spaces
 Total = 171 parking spaces

Parking spaces provided:
 Surface parking spaces provided = 64
 ADA spaces required = 3
 54 - Double garages provided = 108 stalls
 20 - Single garages provided = 20 stalls
 Total Parking provided = 192

- Notes:**
- Information for underground utility locations, sizes and materials was compiled from maps and records, supplemented by field locations of facilities visible at ground level.
 - Watermains have approximately 8 feet of cover.
 - Existing utilities are shown in approximate manner only, contractor shall verify location, size, material, and elevation of all underground utilities, whether or not shown on this drawing. As necessary to accommodate proposed construction.
 - Contractor shall notify North Dakota One Call (1-800-795-0555) 48 hours, (two) working days, not including holidays or weekends prior to any excavation on site.
 - Contractor shall examine site to determine any changes in topography which may have occurred since the time of survey.
 - All work performed within the public right-of-way shall be done in accordance with the City of Grand Forks Standard Construction Specifications. Prior to doing any work in the City right-of-way the contractor shall call the City of Grand Forks Engineering Department at 701-746-2640. The Detail Development Plan is subject to approval by the Grand Forks Engineering Department.
 - Landscaping shall conform to section 18-0309. All landscaping shall be protected from vehicular traffic by standard concrete curbing and gutter.
 - All driveways shall be installed according to the Grand Forks Construction Standard Manual.
 - All signs to be approved by the Grand Forks Inspections Department (conventional zoning) or Planning Department (planned unit development).
 - Minimum ground elevation adjacent to a dwelling shall be 1 foot above existing ground.
 - The exterior mechanical equipment shall be adequately screened.
 - All driveways and paved accesses leading to refuse containers shall be constructed of 6" concrete pavement with 12" compacted base. Refuse enclosure is required.
 - Handicap ramps must meet ADA Standards including detectable warning panels.
 - Closure time of city streets and sidewalks should be minimized.

Address: 1220 & 1260 55th Avenue South, Grand Forks, ND 58201
Zoning: Multi-Family Residence District R-4 Type Uses. Maximum No. of Residential Units 74.
Legal Description: Lot 4, Block 1, Haley's First Resubdivision & Vacated South 11th Street - Grand Forks, ND.

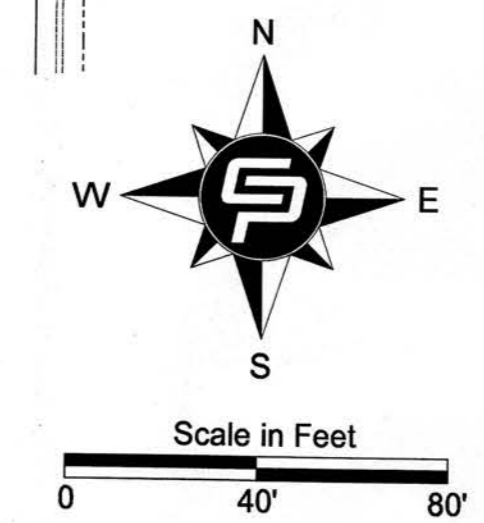
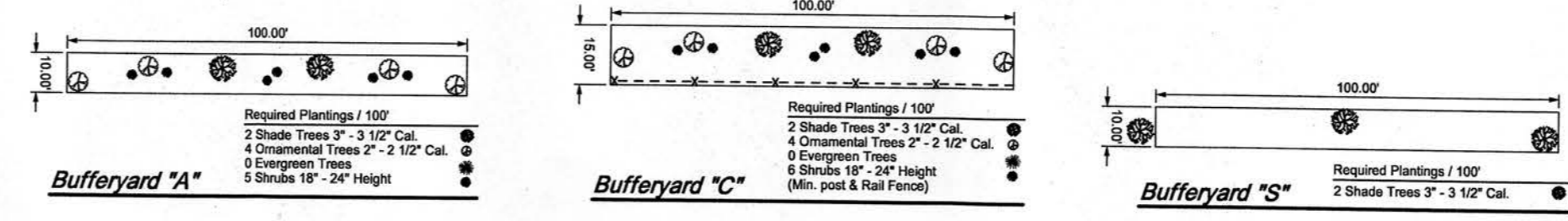
Comerstone Apartments
Detailed Development Plan

APPROVED BY GRAND FORKS PLANNING DEPARTMENT ON: 4/28/14 BY: [Signature]

Designed By: MSS
 Drawn By: MSS
 Checked By: KAM
 Date: 04-28-2014
 File: As Shown
 Scale: As Shown

CPS
 CIVIL ENGINEERING | PLANNING | SURVEYING
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SHEET
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 PLANNING DEPARTMENT

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