

NOTES

REFER TO CIVIL DRAWINGS FOR LOCATION OF UTILITIES AND SITE DRAINAGE.
 ALL WORK PERFORMED WITH THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GRAND FORKS STANDARD CONSTRUCTION SPECIFICATIONS.
 LANDSCAPING SHALL CONFORM TO 18-030A.
 ALL SIGNS SHALL BE APPROVED BY THE GRAND FORKS PLANNING DEPARTMENT. DRIVEWAYS/APPROACHES TO REFUSE CONTAINERS SHALL BE CONSTRUCTED WITH 8-INCH CONCRETE AND CLAY SUB-BASE COMPACTED TO 95% MAXIMUM DENSITY.
 CONTACT CITY ENGINEERING DEPARTMENT FOR STORM WATER RUNOFF PERMIT REQUIREMENT. (ROSS LAGASSE @ 701 746 2843) SUBMIT A STORM WATER POLLUTION PLAN TO THE PLANNING DEPARTMENT WHICH MUST BE APPROVED PRIOR TO FINAL SITE PLAN APPROVAL.
 PRIOR TO DOING ANY WORK IN THE CITY RIGHT-OF-WAY THE CONTRACTOR SHALL CALL THE ENGINEERING DEPARTMENT AT 746 2840.
 FINAL UTILITY LAYOUT WILL BE APPROVED BY APPROVED CONSTRUCTION PLANS.

LEGAL DESCRIPTION	ADDRESS
LOT 2, BLOCK 1 MEADOW RIDGE SECOND ADDITION	GRAND FORKS, ND
SITE DATA	PARKING DATA
PUD WITH R-3 MULTIPLE FAMILY RESIDENCES, MEDIUM DENSITY	1 - BED = 2 OFF STREET SPACES 2 - BED = 2.5 OFF STREET SPACES 3 - BED = 1 PER BEDROOM
BUILDING LOT (6.86 ACRES)	299,099 100
BUILDING AREA	77,816 28.0
GREEN SPACE	167,983 58.0
TOTAL IMPERVIOUS (SICAWALS & PARKING)	53,860 18.0
SURFACE AREA	131,706 44.0
MAX IMPERVIOUS SURFACE AREA ALLOWED	134,602 45.0

USES PERMITTED

(A) ANY USE PERMITTED IN PARAGRAPH (2) OF THE R-1 SINGLE-FAMILY RESIDENCE DISTRICT OR PARAGRAPH (2) OF THE R-2 ONE-AND-TWO-FAMILY RESIDENCE DISTRICT.
 (B) MULTI-FAMILY DWELLINGS, APARTMENT BUILDINGS, AND CONDOMINIUM APARTMENTS.
 (C) TOWNHOUSES, SUBJECT TO SPECIAL CONDITIONS SET FORTH IN SUBSECTION (11).
 (D) HOME OCCUPATIONS, LIMITED TO OFFICE USE ONLY, SUBJECT TO SPECIAL CONDITIONS SET FORTH IN SUBSECTION (11).
 (E) BOARDING AND LODGING HOUSES.
 (F) CLUBS AND LOUNGES SUBJECT TO SPECIAL CONDITIONS SET FORTH IN SUBSECTION (11).
 (G) CONGREGATE HOUSING.
 (H) OFF-STREET PARKING AND LOADING, AS REGULATED BY SECTION 18-030C.
 (I) SIGNS, AS REGULATED BY SECTION 18-030I.

BUILDING HEIGHT REQUIREMENTS

BUILDING HEIGHT LIMIT: THREE (3) STORIES, BUT NOT EXCEEDING FORTY (40) FEET IN HEIGHT. ALSO SEE SECTION 18-030J.
 BUILDING HEIGHTS:
 BUILDING TYPE 1 - 20'-4"
 BUILDING TYPE 2 - 20'-4"
 BUILDING TYPE 3 - 20'-4"

REQUIRED LOT AREA, WIDTH AND DEPTH

(A) MULTIPLE FAMILY DWELLINGS (THREE (3) UNITS AND UP): NO MULTI-FAMILY DWELLING SHALL BE ESTABLISHED ON A LOT HAVING AN AREA WITHIN OR DEPTH LESS THAN ONE-FAMILY DWELLINGS UNDER SECTION 18-030S. PROVIDED, HOWEVER, THAT EACH BUILDING SHALL BE LOCATED ON A LOT HAVING AN AVERAGE AREA OF NOT LESS THAN TWENTY-FIVE THOUSAND (25,000) SQUARE FEET FOR EACH DWELLING UNIT THEREIN.
 (B) LOTS FOR ONE-FAMILY DWELLING PURPOSES SHALL CONTAIN NOT LESS THAN SIX THOUSAND (6,000) SQUARE FEET OF AREA AND A LOT WIDTH OF NOT LESS THAN FORTY-FIVE (45) FEET AT BUILDING SET-BACK LINE AND A MINIMUM DEPTH OF NOT LESS THAN ONE HUNDRED TWENTY (120) FEET, EXCEPT THAT WHEN LOTS OF GREATER WIDTH THAN FORTY-FIVE (45) FEET ARE USED THE LOT DEPTH MAY BE REDUCED TO A MINIMUM OF 80 HUNDRED (80) FEET, PROVIDED THE AREA REQUIREMENT IS NOT REDUCED AND PROVIDED THE NECESSARY REAR YARD REQUIRED BY THIS ARTICLE IS MAINTAINED.
 (C) LOTS FOR TWO-FAMILY DWELLING PURPOSES SHALL CONTAIN NOT LESS THAN SEVEN THOUSAND (7,000) SQUARE FEET IN AREA AND A LOT WIDTH OF NOT LESS THAN FIFTY (50) FEET AT THE BUILDING SET-BACK LINE AND A LOT DEPTH OF NOT LESS THAN ONE HUNDRED TWENTY (120) FEET, EXCEPT THAT WHEN LOTS OF GREATER WIDTH THAN FIFTY (50) FEET ARE USED, THE AREA REQUIREMENT IS NOT REDUCED TO A MINIMUM OF ONE HUNDRED (100) FEET, PROVIDED THE AREA REQUIREMENT IS NOT REDUCED AND PROVIDED THE NECESSARY REAR YARD AS REQUIRED BY THIS CHAPTER IS MAINTAINED.

SETBACK REQUIREMENTS

FRONT YARD REQUIREMENTS
 (A) FRONT YARD DEPTH ON LOTS FRONTING MINOR AND PRINCIPAL ARTERIAL STREET AS IDENTIFIED IN THE TRANSPORTATION ELEMENT OF THE CITY'S MASTER PLAN SHALL BE THIRTY-FIVE (35) FEET.
 (B) THE FRONT YARD DEPTH ON CORNER LOTS SHALL BE IN ACCORDANCE WITH THE PREVAILING YARD PATTERN AND A SECOND FRONT YARD OF HALF THE DEPTH REQUIRED GENERALLY FOR FRONT YARDS SHALL BE PROVIDED ON THE OTHER FRONTAGE.
 (C) ON A LOT WHICH FRONTS A COLLECTION STREET AS IDENTIFIED IN THE TRANSPORTATION ELEMENT OF THE CITY'S MASTER PLAN, A DEPTH OF TWENTY-FIVE (25) FEET SHALL BE REQUIRED WITH ONE (1) ADDITIONAL FOOT FOR EACH FOOT IN HEIGHT THE BUILDING EXCEEDS TWENTY-FIVE (25) FEET.
 (D) ON A LOT WHICH FRONTS A LOCAL STREET, A DEPTH OF TWENTY-FIVE (25) FEET SHALL BE REQUIRED. THIS FRONT YARD DEPTH REQUIREMENT MAY BE REDUCED A MAXIMUM OF FIVE (5) FEET FOR ANY SINGLE-FAMILY, TWO-FAMILY, SEMI-DETACHED, OR TOWNHOUSE DWELLING UNIT UTILIZING A REAR-LOADED GARAGE, OR A FRONT-LOADED GARAGE UNDER THE FOLLOWING CONDITION: THE FRONT YARD DEPTH FOR A DWELLING UNIT MAY BE REDUCED AT A RATE OF ONE (1) FOOT PER EACH TWO (2) FEET OF ADDITIONAL SETBACK FOR A FRONT-LOADED GARAGE BEYOND THE MINIMUM SETBACK REQUIREMENTS AS HERETOFORE STATED. (SEE APPENDIX G)

SIDE YARD REQUIREMENTS
 (A) AT THE DISCRETION OF THE ZONING ADMINISTRATOR, THE FRONT YARD DEPTH MAY BE IN ACCORDANCE WITH THE PREVAILING YARD PATTERN, WHEN THE DEPTH IS LESS THAN STATED ABOVE.
 EACH LOT SHALL HAVE TWO (2) SIDE YARDS, ONE ON EACH SIDE OF THE PRINCIPAL BUILDING. THE SUM OF THE WIDTHS OF THE TWO (2) SIDE YARDS SHALL NOT BE LESS THAN FORTY PERCENT (40%) OF THE AVERAGE WIDTH OF THE LOT DISTRIBUTED AS FOLLOWS:
 (1) ON ANY LOT, SIXTY (60) FEET OF LESS IN WIDTH, MINIMUM SIDE YARD SHALL NOT BE LESS THAN TEN (10) PERCENT OF THE WIDTH OF THE LOT, AND IN NO CASE SHALL THE SIDE YARD BE LESS THAN FIVE (5) FEET IN WIDTH FROM THE EXTERIOR WALL ADJUTING THE SIDE YARD.
 (2) ON ANY LOT, HAVING AN AVERAGE WIDTH GREATER THAN SIXTY (60) FEET, AND LESS THAN ONE HUNDRED (100) FEET, THE MINIMUM SIDE YARD SHALL NOT BE LESS THAN SIX (6) FEET IN WIDTH FROM THE EXTERIOR WALL ADJUTING THE SIDE YARD.
 (3) ON ANY LOT EXCEEDING ONE HUNDRED (100) FEET IN WIDTH, THE MINIMUM SIDE YARD SHALL BE TEN (10) FEET IN WIDTH FROM THE EXTERIOR WALL ADJUTING THE SIDE YARD.
 (4) FOR BUILDINGS OVER TWO AND ONE-HALF (2 1/2) STORIES, OR THIRTY-FIVE (35) FEET IN HEIGHT, THE MINIMUM SIDE YARD SHALL BE ONE-FOURTH (1/4) OF THE BUILDING HEIGHT, WHICH DIMENSION SHALL BE MEASURED FROM THE BUILDING FOUNDATION TO THE LOT LINE.
 (5) UNDER NO CIRCUMSTANCE MAY THE DISTANCE BETWEEN THE LANE LINE OF ANY BUILDING AND THE ADJACENT LOT LINE BE LESS THAN THREE (3) FEET.
 (6) FOR ACCESSORY BUILDING YARD VARIATIONS, SEE SECTION 18-030A.

REAR YARD SETBACK
 EACH LOT SHALL HAVE A REAR YARD OF NOT LESS THAN TWENTY (20) PERCENT OF THE LOT DEPTH, BUT IN NO CASE SHALL THE REAR YARD BE LESS THAN FORTY (40) FEET. NO ALLEY SHALL CONSTITUTE A PART OF ANY REAR YARD.

ZONING REQUIREMENTS

ZONE R-3
 ALLOWABLE IMPERVIOUS AREA = 45.0%
 DENSITY: DENSITY SHALL BE NO GREATER THAN SIXTEEN (16) UNITS PER ACRE.

LANDSCAPING REQUIREMENTS

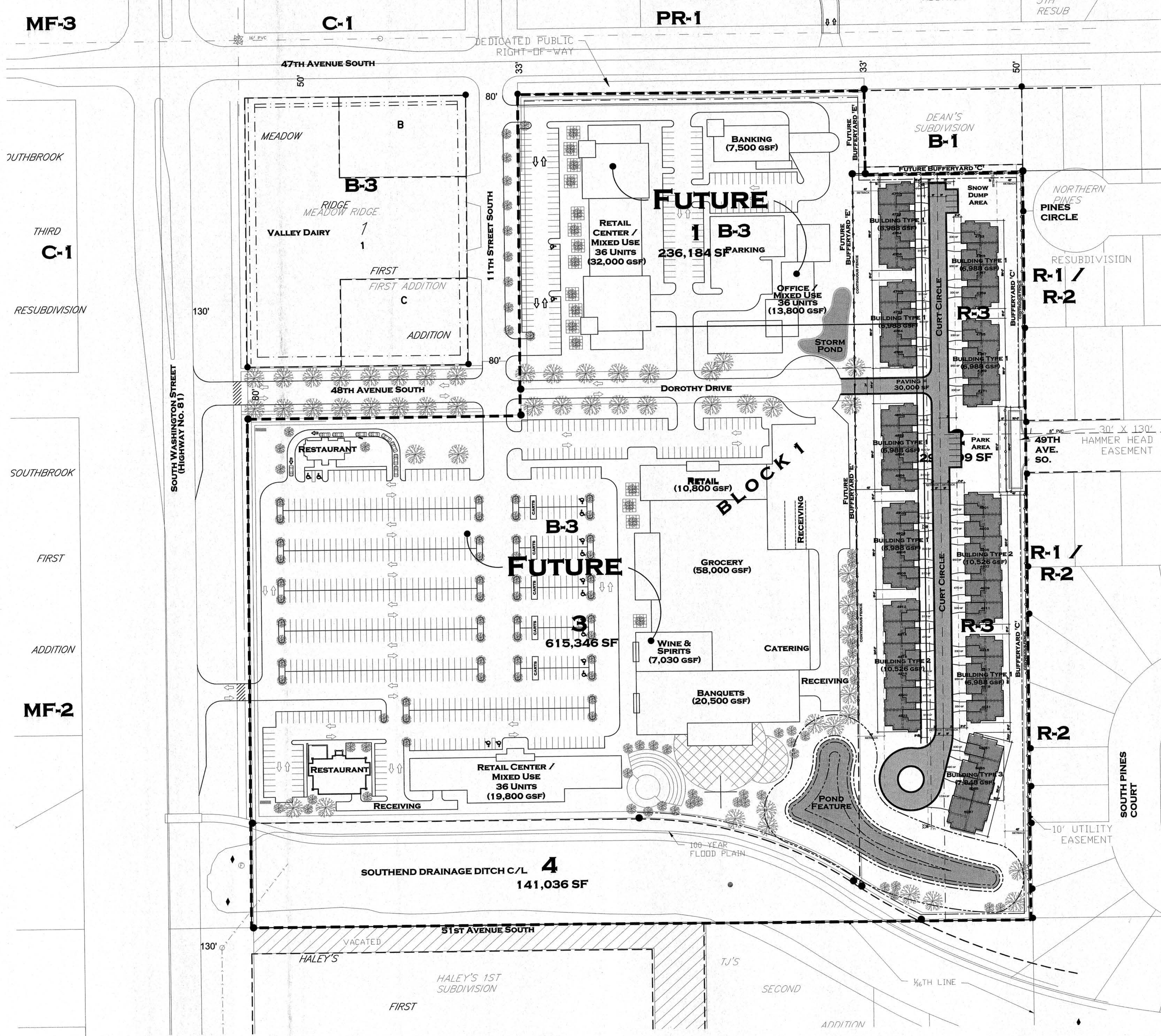
NOT LESS THAN 5% OF THE INTERIOR OF A PARKING LOT SHALL BE LANDSCAPED.
 LANDSCAPING SHALL INCLUDE, IN ANY COMBINATION, FROM THE FOLLOWING:
 1. SHADE TREES: 2 1/2 INCH TO 3 INCH CALIPER TREES (CANOPY PROVIDING 500 S.F.)
 2. ORNAMENTAL TREES: 2 INCH TO 2 1/2 INCH CALIPER TREES (CANOPY PROVIDING 250 S.F.)
 3. EVERGREEN TREES: 3 1/2 FEET TO 4 FEET IN HEIGHT
 75% CANOPY COVERAGE REQUIRED IN OPEN SPACE
 BUFFERARY "C" PROVIDED AT NORTH & EAST PROPERTY LINES.

LEGEND

PROPERTY LINE
 EASEMENT
 SETBACK
 WATER LINE
 STORM SEWER
 SANITARY SEWER
 DRAINAGE DIRECTION
 MANHOLE / INLET
 FIRE HYDRANT
 FENCE LINE

APPROVAL

APPROVED BY: *[Signature]*
 TITLE: Planner
 DATE: 6/3/14



1 OVERALL SITE PLAN
 1" = 80'-0"

ICON ARCHITECTURAL GROUP
 4050 GARDEN VIEW DRIVE
 SUITE 101
 GRAND FORKS, ND 58201
 P. 701.772.4266 F. 701.772.4275
 WWW.ICONARCHITECTS.COM

STRUCTURAL
 ICON Architectural Group
 4050 Garden View Drive Suite 101
 Grand Forks, ND 58201
 (701) 772.4266 Office
 (701) 772.4275 Fax
MECHANICAL

ELECTRICAL

CIVIL

AE2S, Inc.
 4050 Garden View Drive Suite 200
 Grand Forks, North Dakota 58201
 (701) 746.8087 Office
 (701) 746.0370 Fax

VALLEY MARKET DEVELOPMENT
 Valley Market Townhomes
 47th Avenue South
 Grand Forks, North Dakota

Drawing History

No.	Description	Date

DRAWN BY: TWWD JUNE 14/2012

TRUE NORTH PLAN NORTH

NOT FOR CONSTRUCTION

OVERALL SITE PLAN

SHEET
A001