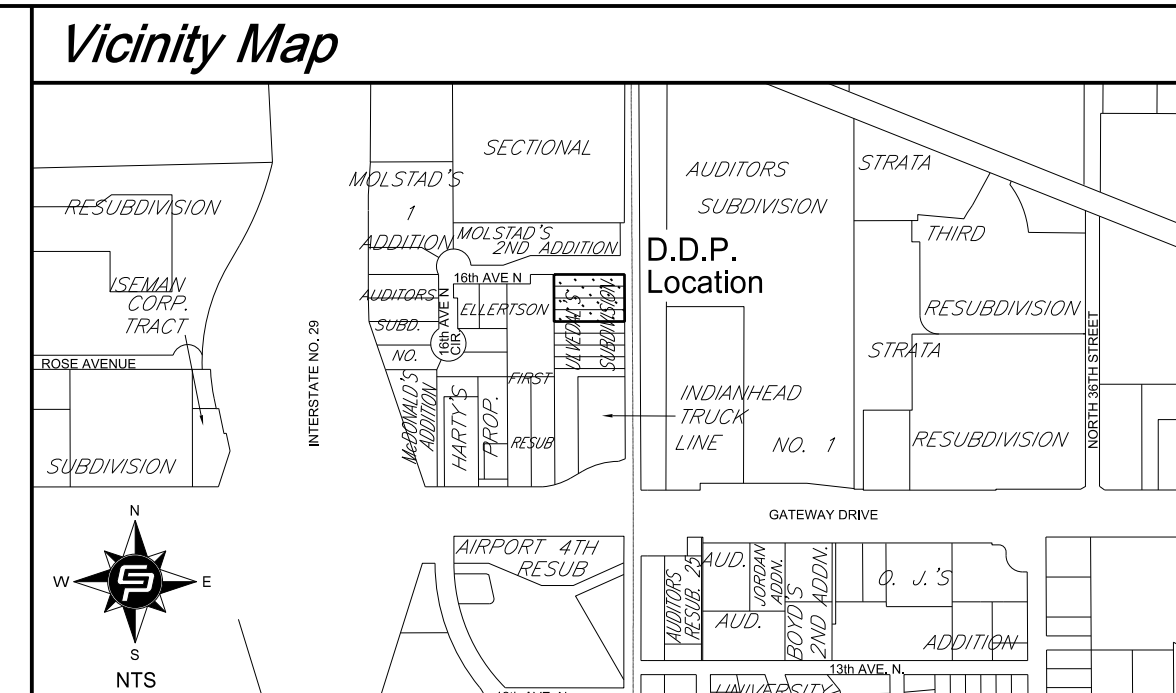
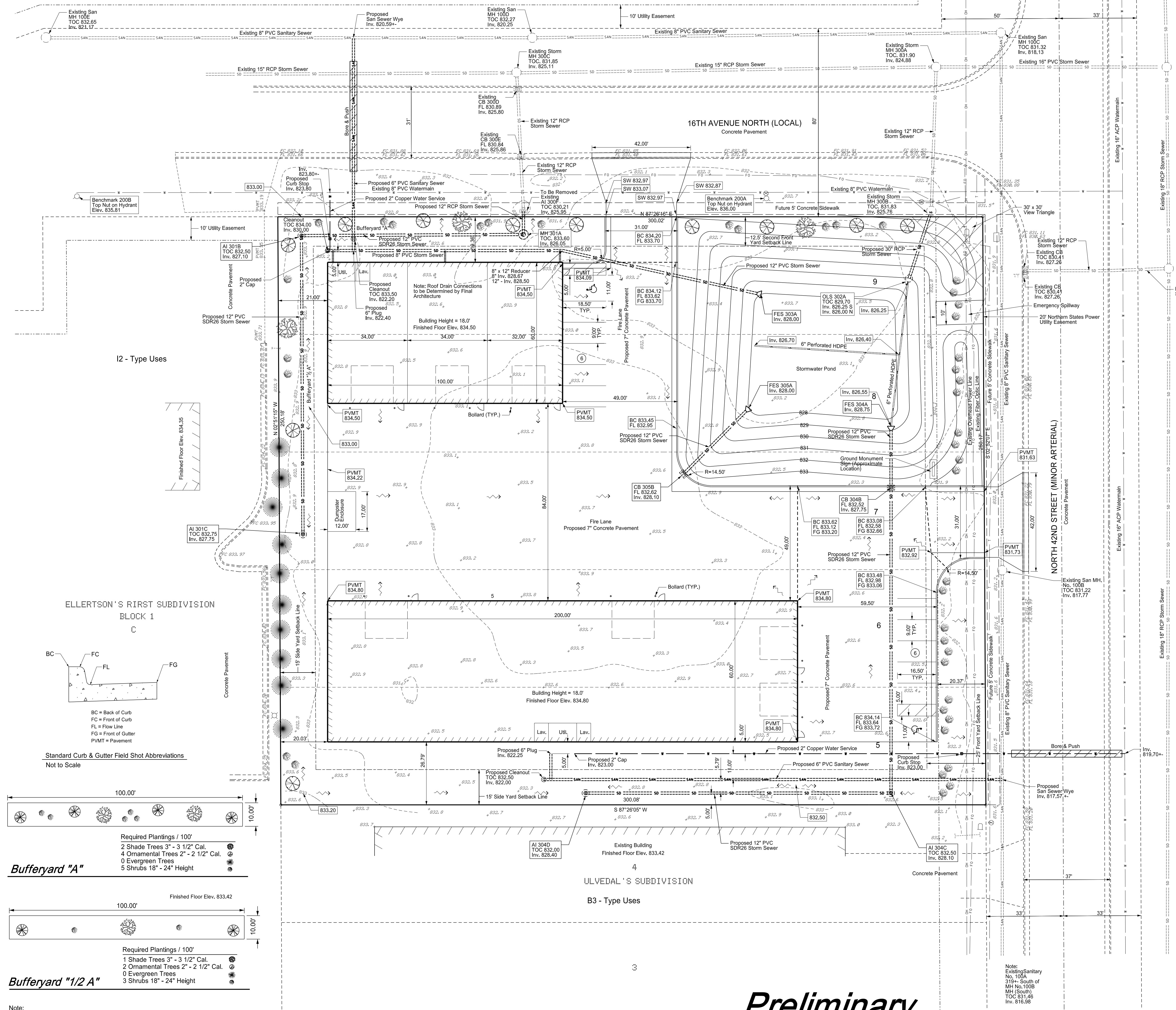


I2 - Type Uses



Legend

Boundary Line	Proposed Curb & Gutter
Existing Lot Line	Proposed Sign
Easement Line	Proposed Sanitary Sewer
Existing Sanitary Sewer	Proposed Sanitary Cleanout
Existing Manhole	Proposed Storm Sewer
Existing Storm Sewer	Proposed Storm Manhole
Existing Catch Basin	Proposed Outlet Structure
Existing Area Inlet	Proposed Catch Basin
Existing Watermain	Proposed Area Inlet
Existing Gate Valve	Proposed Watermain
Existing Fire Hydrant	Proposed Curb Stop
Existing Concrete Curb & Gutter	High Point Line
Existing Sign	Flow Arrow
Existing Telephone Pedestal	Proposed Grade Elevation
Existing Telephone Line	Proposed Bollard
Existing TV Pedestal	Proposed 5' Contour Line
Existing Overhead Power Line	Proposed 1' Contour Line
Existing Power Pole	Proposed Building
Existing Gas Line	Proposed Deciduous Tree
Existing Gas Valve	Proposed Shrub
Existing Fiber Optic Line	
Existing Spot Elevation	
Existing Evergreen Tree	

Data Summary Chart:

	Square Feet	Percentage
Building Lot	75,063	100.0%
Buildings	18,000	24.0%
Paving	25,742	34.3%
Impervious Surface Area	43,742	58.3%
Max Impervious Area	63,804	85.0%
Open Space	31,321	41.7%

Parking Formula:

Industrial: (C) Warehouse: One (1) off-street space for each two (2) employees on the major work shift or one (1) space for each two thousand (2,000) square feet of gross floor area, whichever is greater, plus one (1) space for each company vehicle regularly stored on the premises.

Parking spaces required: 8
 ADA spaces required: 1
 Total parking spaces required 9

Parking spaces provided: 10
 ADA spaces provided: 2
 Total parking spaces provided 12

- Notes:**
- Information for underground utility locations, sizes and materials was compiled from maps and records, supplemented by field locations of facilities visible at ground level.
 - Watermains have approximately 8 feet of cover.
 - Existing utilities are shown in approximate manner only, contractor shall verify location, size, material, and elevation of all underground utilities, whether or not shown in this drawing. As necessary to accommodate proposed construction.
 - Contractor shall notify North Dakota One Call (1-800-795-0555) 48 Hours, (two) working days, not including holidays or weekends prior to any excavation on site.
 - Contractor shall examine site to determine any changes in topography which may have occurred since the time of survey.
 - Contact City of Grand Forks Inspector at 701-746-2651 prior to working in right of way.
 - All work performed within the public right of way shall be done in accordance with the City of Grand Forks Standard Construction Specifications. Prior to doing any work in the City right of way the contractor shall call the Engineering Department at 701-746-2640. Minimize closure time.
 - Landscaping shall conform to section 18-0309. All landscaping shall be protected from vehicular traffic by standard concrete curbing and gutter.
 - All driveways shall be installed according to the Grand Forks Construction Standard Manual.
 - All signs to be approved by the Grand Forks Inspections Department (conventional zoning) or Planning Department (planned unit development).
 - Minimum ground elevation adjacent to a dwelling shall be 1 foot above existing ground.
 - The exterior mechanical equipment shall be adequately screened.
 - All driveways leading to refuse containers shall be constructed of 6" concrete with a minimum 6" compacted base.
 - Refuse containers are required to be adequately screened and placed in an enclosure.
 - Handicap ramps must meet ADA standards including detectable warning panels.

Address: 1579 North 42nd Street
Zoning: I2 - Heavy Industrial District
Legal Description:
 Lots 5,6,7,8 and 9, Block 1, Ulvedal's Subdivision

Opp Construction Business Park Site Plan

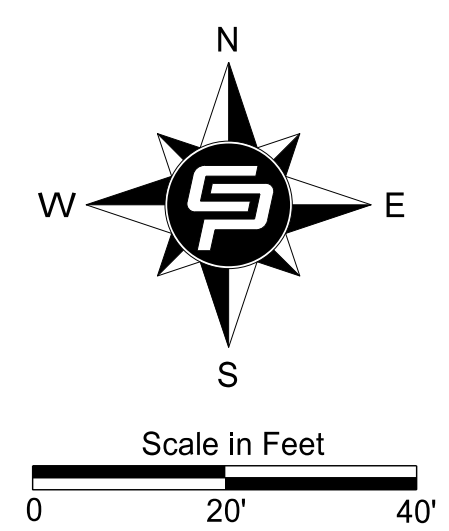
APPROVED BY GRAND FORKS PLANNING DEPARTMENT ON: _____ BY: _____

Designed By: MPS
 Drawn By: MPS
 Checked By: MGK
 Date: 06-06-2014
 File: As Shown
 Scale: As Shown

CPS
 CIVIL ENGINEERING/PLANNING/SURVEYING
 308 2nd Avenue North/Grand Forks, North Dakota 58203
 Phone: 701-746-7459 Fax: 701-746-8848

SHEET
 1 of 1

Preliminary



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