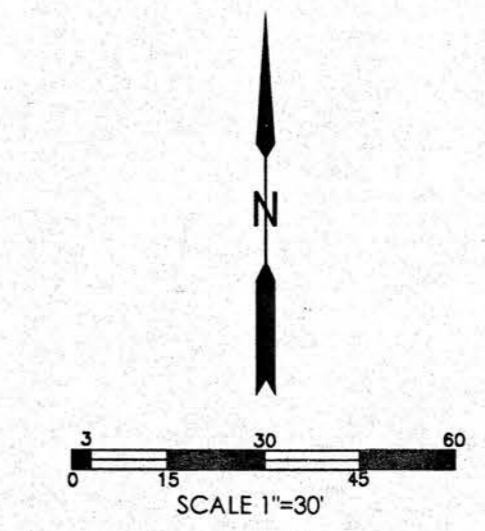
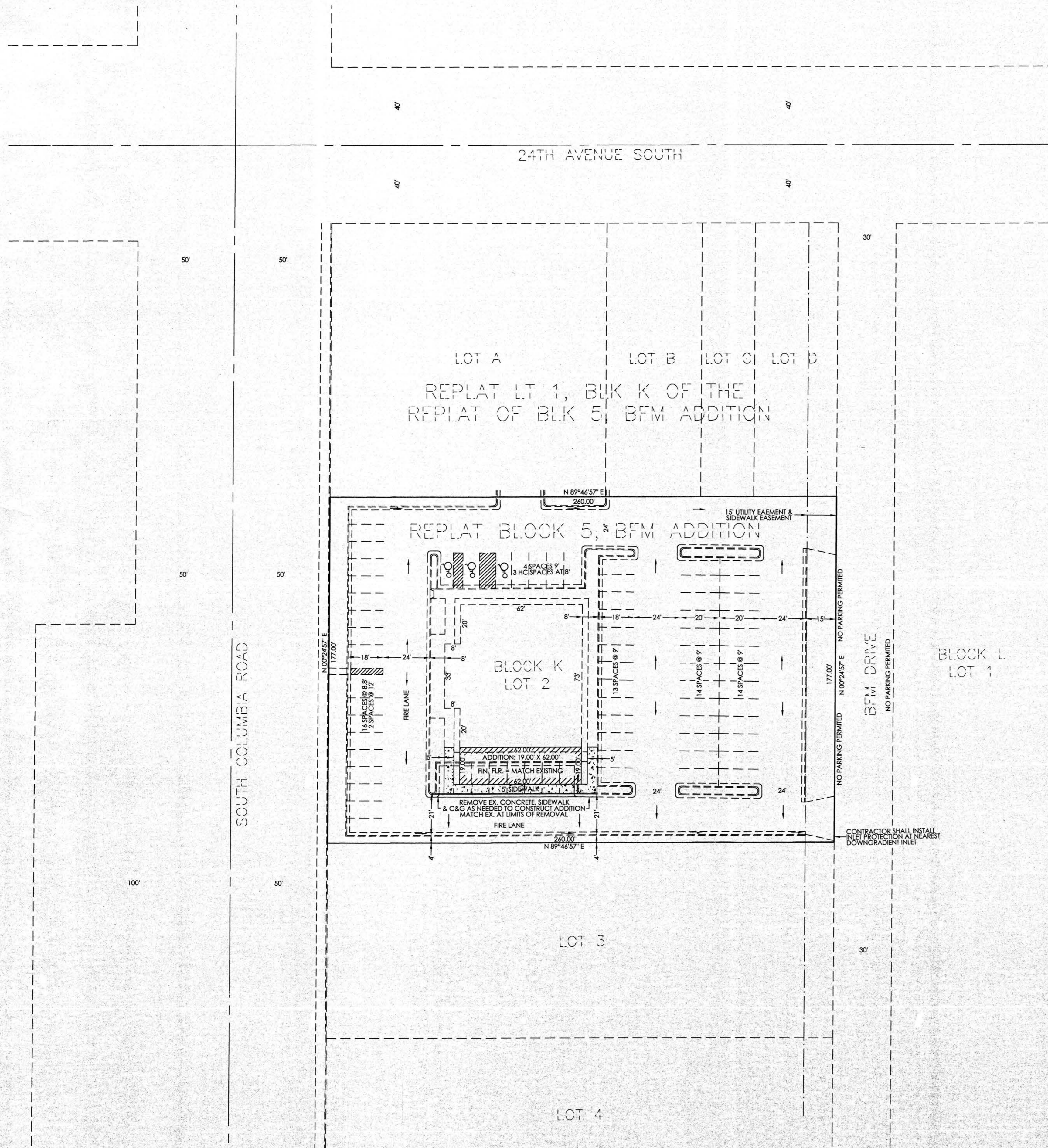


SITE PLAN



LEGEND

MONUMENT FOUND	○
SET MONUMENT	●
BOUNDARY LINE THIS SURVEY	—
LOT LINE	- - - -
EASEMENT LINE	— · — · — ·
CURB AND GUTTER	— ▬ — ▬ — ▬
CONCRETE	▨

LAND ZONING

BFM Planned Unit Development (All building regulations shall conform to the B-3 District unless shown otherwise hereon.)

LAND DESCRIPTION

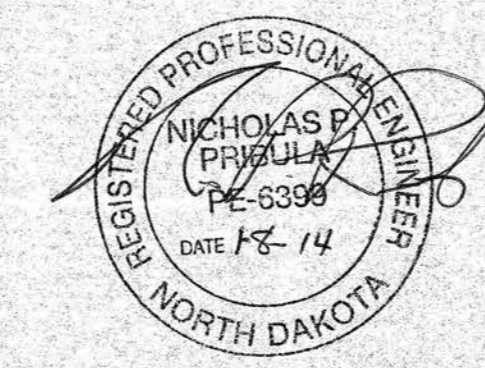
Lot 2, Block K, Replat of Block 5, BFM Addition to the City of Grand Forks, North Dakota.

SITE DATA

Non-accessible spaces required: 1 off street parking space for each 75 square feet of gross floor area less provisions allowed by Land Development Code Section 18-0302(6)(A) for bathrooms, hallways and kitchens.
 Total Interior Square Footage of Existing Structure + Addition: 5,557 s.f.
 Kitchen Area: 2,025 s.f.
 Square Footage of Kitchen exceeding 10% [18-0302(6)(A)]: 1,469 s.f.
 Square Footage Utilized for Parking Calculation: 5,557 - 1,469 = 4,088 s.f.
 Number of non-accessible parking spaces required: 4,088 s.f. / 75 s.f. / stall = 55 stalls
 Number of non-accessible spaces provided: 63 spaces
 Accessible Parking Required: 3 space
 Accessible Parking Provided: 3 spaces
 Lot 2 Area = 31,875 s.f. (per Perkins Thirteenth Resubdivision)
 Total Disturbed Site: 2,150 s.f. This project will result in no increase of site impervious area. Proposed addition will be constructed over an area that is currently sidewalk and concrete pavement.
 Per Land Development Code Section 15-0906(1)(a), an erosion and sediment control permit is not required as this project disturbs less than 5,000 s.f. Precautionary measures shall be taken by contractor to eliminate sediment from entering storm sewer system. Inlet protection shall be installed at nearest inlet on BFM Drive.

PLAN NOTES

- All landscaping shall be protected from vehicular traffic by curb and gutter.
- All signs to be approved by the City of Grand Forks Inspections Department.
- Proposed building will not utilize sump pumps.
- Slope in handicap loading/unloading zones shall not exceed 2%. Cross slope on any handicap accessible routes shall not exceed 2%.
- Proposed building will be constructed without a basement.
- Contractor to connect corrugated pipe to roof drains and extend them to pavement.
- Contractor to provide area for concrete truck washout. Washout area shall not be within 50 feet of ditch or swales.
- Erosion control to be removed only after site has been permanently stabilized (70% ground cover).
- Contractor to protect any stockpiles to prevent any sediment from leaving the site. Any temporary stockpiles shall not be placed in surface waters, stormwater conveyance systems, curb and gutter systems, conduits or ditches.



APPROVAL:
 APPROVED BY: _____
 TITLE: _____
 DATE: _____

SITE PLAN		REVISED:	DATE: 12-17-2013
PANDA BUFFET - XING LIN 2451 SOUTH COLUMBIA ROAD			DRAWN BY: NP
REQUESTED BY: XING LIN 2451 SOUTH COLUMBIA ROAD GRAND FORKS, ND 58201	917-214-0533	PROJECT NO. 13-1217	SCALE: 1" = 30'
PRIBULA ENGINEERING 208 3RD AVENUE NW EAST GRAND FORKS, MN 56721	701-772-7058	DRAWING NO. C-1	