

LEGAL DESCRIPTION (from Title Commitment)
 Lot E, Block 1, REPLAT OF LOTS 1, 5, 6, 7 & 8, BLOCK 1 OF COLUMBIA PARK 21ST ADDITION Grand Forks, North Dakota, as recorded by the County Recorder of Grand Forks County, North Dakota

SITE ZONING
 COLUMBIA PARK SOUTH PUD

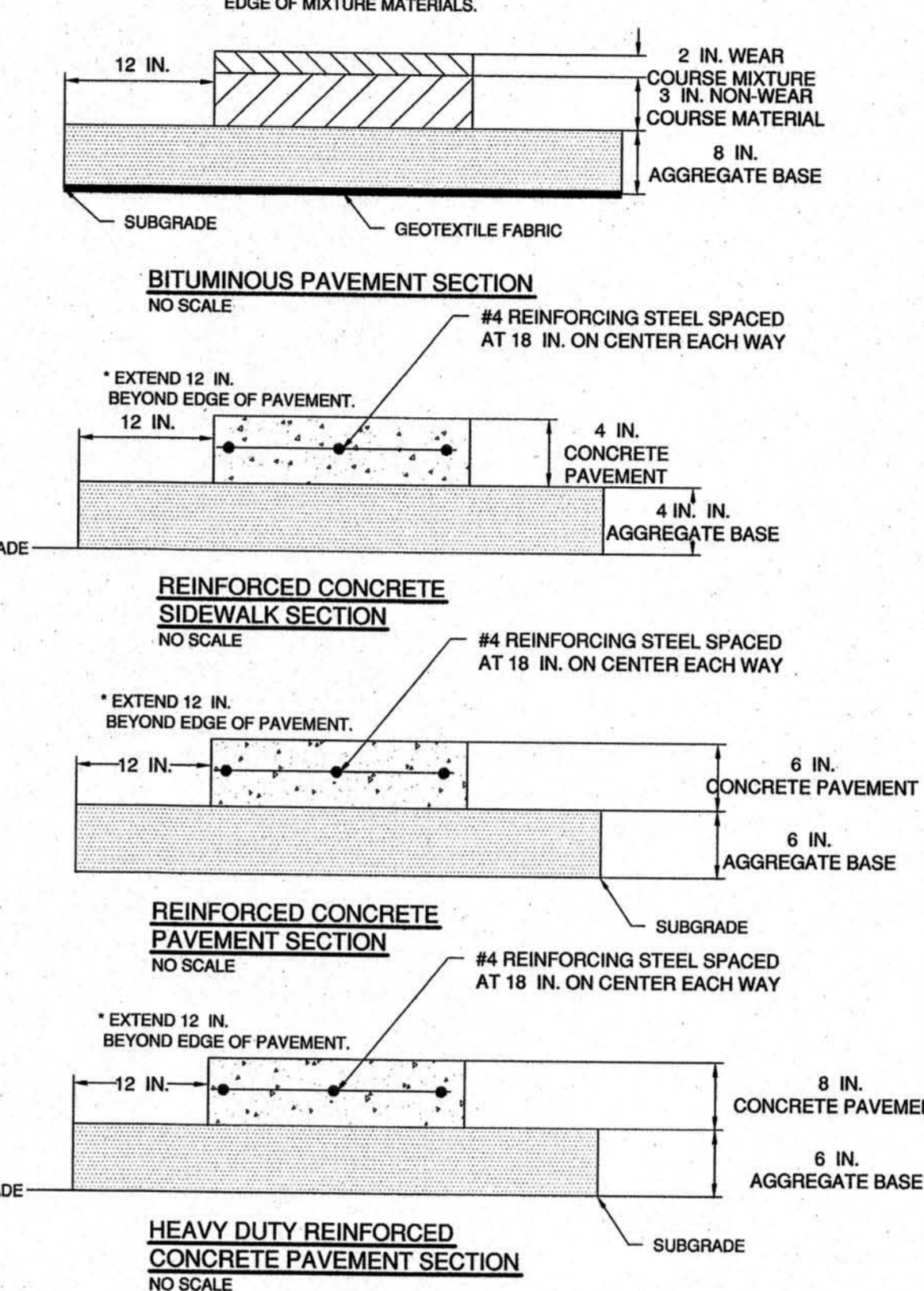
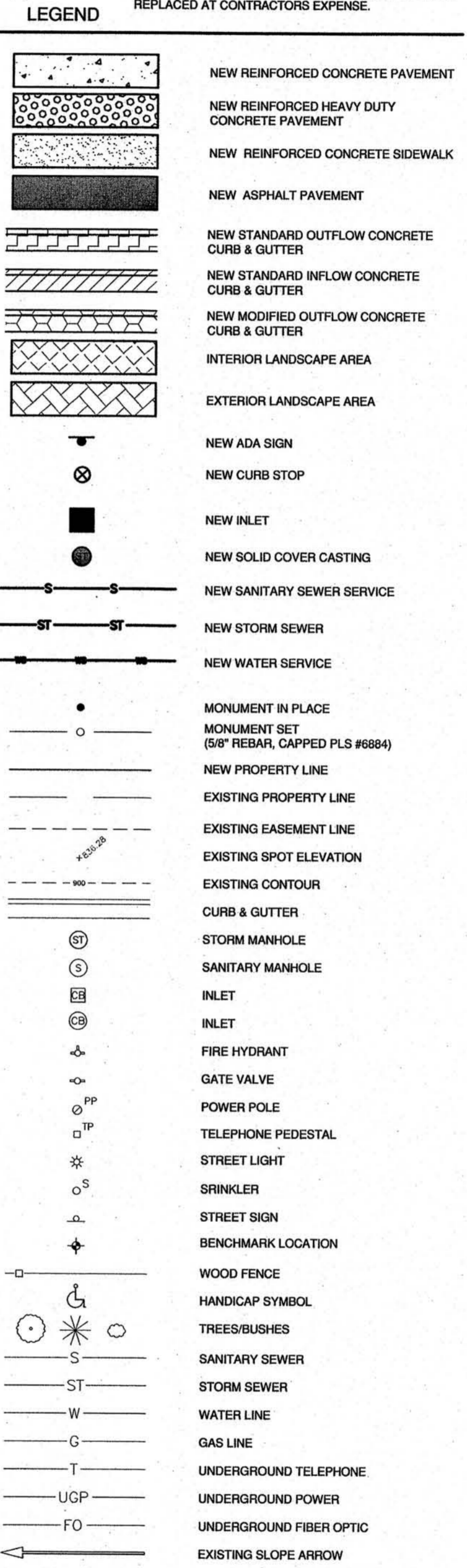
ADJACENT ZONING
 COLUMBIA PARK SOUTH PUD

GRAND FORKS GENERAL NOTES

- ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GRAND FORKS STANDARD CONSTRUCTION SPECIFICATIONS. PRIOR TO DOING ANY WORK IN THE CITY RIGHT-OF-WAY THE CONTRACTOR SHALL CALL THE ENGINEERING DEPARTMENT AT 701-746-2840.
- ALL LANDSCAPING SHALL BE PROTECTED FROM VEHICULAR TRAFFIC BY A STANDARD CONCRETE CURB AND GUTTER.
- ALL SIGNS TO BE APPROVED BY THE GRAND FORKS INSPECTIONS DEPARTMENT (CONVENTIONAL ZONING) OR PLANNING DEPARTMENT (PLANNED UNIT DEVELOPMENT).

GENERAL NOTES

- ALL UTILITY COMPANIES WERE NOTIFIED TO MARK THEIR SERVICES AND MAIN LINES. ALL UNDERGROUND UTILITIES SHOWN HEREON WERE EITHER MARKED BY THEIR OWNERS OR TAKEN FROM MAPS SUPPLIED TO ULTEIG ENGINEERS INC. BY THE OWNERS AT THE TIME OF THIS SURVEY.
- ULTEIG ENGINEERS, INC. DOES NOT CERTIFY TO THE COMPLETENESS AND/OR ACCURACY OF THESE LOCATIONS.
- CONTRACTOR SHALL NOTIFY UTILITY COMPANIES FOR UNDERGROUND LOCATIONS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. NORTH DAKOTA ONE CALL PHONE NUMBER: 1-800-795-0555
- CONTRACTOR SHALL PROTECT ALL PROPERTY PINS. PROPERTY PINS DESTROYED OR DISTURBED SHALL BE REPLACED AT CONTRACTORS EXPENSE.



PARKING FORMULA
 1 SPACE PER 75 SF OF GFA FOR A TOTAL OF 43 SPACES REQUIRED. 54 PROVIDED

ROOM	AREA (S.F.)	FLOOR AREA FOR PARKING REQUIREMENT	PARKING SPACES
01 VESTIBULE	78	78	
02 CAFE	1046	1046	
03 DINNING	1126	1126	
04 SMART ROOM			
05 BAKERY SERVICE	728	728	
09 CAFE SERVICE			
10 DRIVE THRU			
11 BAKERY	748	748 x 10% = 74.8	
12 KITCHEN			
14 UTILITY	40	40	
13 OFFICE			
06 PASSAGE			
08 WOMEN	607	607 x 10% = 60.7	
07 MEN			
EQUIPMENT			
FREEZER	929	0	
COOLER			
TOTAL	5,000	3,151.50	42.02 STALLS

PER SECTION 18-0302.6 (A)

EXISTING IMPERVIOUS CALCULATIONS

PERVIOUS	12,608 SQ FT
IMPERVIOUS	32,392 SQ FT
TOTAL AREA	45,000 SQ FT
PERCENT IMPERVIOUS	72.0%

PROPOSED IMPERVIOUS CALCULATIONS

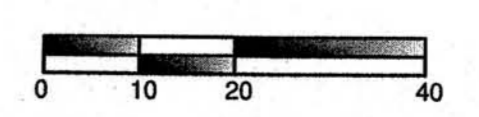
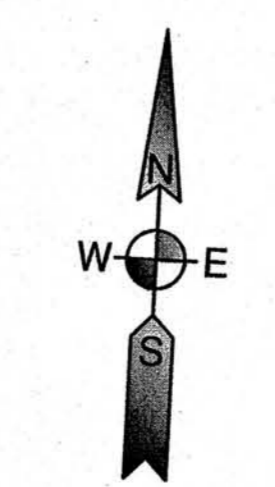
PERVIOUS	12,500 SQ FT
IMPERVIOUS	32,500 SQ FT
TOTAL AREA	45,000 SQ FT
PERCENT IMPERVIOUS	72.2%

PROPOSED INTERIOR PARKING LOT LANDSCAPE

PARKING LOT AREA	24,212 SQ FT
INTERIOR LANDSCAPE AREA	1,515 SQ FT
PERCENT LANDSCAPE	5.89%

EXTERIOR LANDSCAPE AREA - 10,985 SQ FT

THE NUMBER OF PARKING SPACES SHALL BE DETERMINED BY THE USE OF THE BUILDING AREA OR PORTIONS OF THE BUILDING AREA. ANY ACCESSORY USES SUCH AS BATHROOMS, HALLWAYS, KITCHENS AND THE LIKE OF WHICH INDIVIDUALLY OCCUPY TEN (10) PERCENT OR LESS OF THE BUILDING AREA SHALL BE COMPUTED ON THE SAME BASIS AS THE PRINCIPAL USE. THE AMOUNT EXCEEDING TEN (10) PERCENT WILL NOT BE USED IN COMPUTING PARKING REQUIREMENTS.



APPROVED BY THE GRAND FORKS PLANNING DEPARTMENT
 ON: 4-26-2013, BY: *Ryan M. Able, Senior Planner*

BAKERY CAFE: #1726
 SYSTEM: G3 (GLOW)
 PROTOTYPE UPDATE: 2011-02

ENGINEER: **Ulteig**
 Bismarck - Denver - Detroit - Lakes
 Fargo - Minneapolis - Sioux Falls - Williston
 3350 38th Avenue South
 Fargo, North Dakota 58104
 Phone: 701.280.8500
 Fax: 701.280.8509
 Web: www.ulteig.com
 Drawn By: KJK
 Checked By: KJK
 Approved By: UEL12.02110

ARCHITECT: **NORR**
 ARCHITECTS PLANNERS
 325 N. LaSalle St. | Suite 700 | Chicago, IL 60654
 T 312.424.2400 | F 312.424.2404 | www.norr.com

REGISTERED PROFESSIONAL
 KEVIN J. KNOTT
 5679
 DATE 4/25/13
 GRAND FORKS, NORTH DAKOTA

BAKERY CAFE #1726
 2515 SOUTH 32ND AVENUE
 GRAND FORKS, NORTH DAKOTA 58201

Panera BREAD.

REVISION

SITE PLAN / DETAILED DEVELOPMENT PLAN	04/10/13
CITY REVIEW COMMENTS	04/25/13

ISSUE DATE: 03/16/13
 PROJECT #: NICH12.0395.00
 DRAWN BY: ULTEIG
 DPM: DAN COOK
 DM: GREG JOHNSON
 CPM: JOE PLESCHIA

SHEET NO:
C-6.1
 SITE PLAN