

# SITE PLAN

## PLAN NOTES

Contractor to verify size and elevation of all services with building mechanical designer prior to installation of any services. Contractor to also verify elevation of sanitary and storm sewer connector pipe to service installation.

All underground utility work performed within the public right-of-way shall be installed in accordance with the City of Grand Forks Standard Construction Specifications and Standard Details. Prior to performing any work in the City right-of-way the Contractor shall call the Engineering Department at 744-3943.

Drainage that connects to public right-of-way shall be built according to the City of Grand Forks Standard Construction Manual.

All pavement shall be to shown in detail except in release areas where the section shall be 4" concrete on 4" Class 3 on compacted base.

Landscaping shall conform to section 180303.

All signs to be approved by the City of Grand Forks Inspection Department.

Contractor shall maintain 2.5 foot minimum cover over water and sanitary sewer services. Cleanouts shall be provided every 75 feet except on 4" sanitary sewer service stacks up to building.

Water mains shall have 8 feet of cover.

Slope in all finished building/landscaping areas shall not exceed 2%. Cross slope on any finished accessible surface shall not exceed 1/4". Owner to verify planned location of these areas/level requirements.

Fencing in all dumpster areas shall be concrete.

All grades subject to minor field adjustments.

Isolation control measures shall be implemented in accordance with City of Grand Forks and North Dakota Department of health requirements. A Storm Water Pollution Prevention Plan (SWPPP) shall be developed for all site and shall be fully implemented until a Notice of Termination (NOT) has been filed with the North Dakota Department of health. The erosion control devices shown on plan are considered minimum amount required for protection. The contractor shall provide additional controls as required by local storm water or as required by permitting requirements. Isolation control shall be installed to City of Grand Forks specifications and detail. The drawing is considered part of the SWPPP. An included in the SWPPP a copy of this drawing shall be kept with SWPPP and a copy located on site.

Contractor to provide concrete entrance of all undergrounds from construction site. Connection walls shall be reinforced in a manner to resist the thrusting of wetland soils covered surface.

Contractor to connect congested pipes to roof drains and extend them to pavement or swales until pipe has been established.

Contractor to provide steel for concrete truck washout. Water from concrete washout area must be contained, and not allowed to enter the City storm sewer system, any steel that leaks to the City storm water system or a water of the State. Washout area shall not be within 30 feet of ditch or swale or 15 feet of storm sewer drain and shall be properly marked.

Water discharged from a dewatering device shall be discharged onto a grass field, grass swale or other secondary containment system and water must flow away from construction area. Dewatering structures shall not be placed on loose soil. The capacity of the dewatering structure shall be adequate to handle the dewatering pump discharge.

Contractor shall take care to leave as much grass areas undisturbed as possible. All disturbed soil shall be reseeded and established in a timely manner according to practices set forth in the SWPPP general permit requirements.

Isolation control to be removed only after site has been permanently stabilized (70% or greater growth).

Contractor to protect all ditches and prevent any sediment from leaving the site. Temporary ditches shall not be placed in surface waters, stormwater conveyance systems, culds and other systems, conduits or ditches. Any disturbed knoll or ditches that are liable for 14 consecutive days shall be stabilized by temporary seeding, mulching, or blocking or any other approved method.

People while stabilization techniques may be used prior to paving work on a site for the winter months, any disturbed knoll must be stabilized by approved methods as listed above.

Identification for underground utility locations, size and materials was compiled from maps and records, supplemented by field locations of facilities visible at ground level.

Water mains have approximately 8 ft of cover.

Contractor shall verify location, size, materials and elevation of all underground utilities, whether or not shown on the drawing, as necessary in accordance proposed construction.

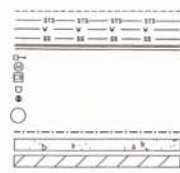
Contractor shall notify North Dakota Dept of Health 744-3943-4246 at least 3 working days, not including holidays or weekends prior to any excavation on site.

The line histogram shall be installed on the east side of the Magellan basement as a part of the utilities located for Phase I of this project.

→ **SUBMIT COPY OF MAGELLAN APPROVAL FOR ANY WORK DONE WITHIN THE PIPELINE EASEMENT AREA.**



## LEGEND



- EASEMENT LINE
- STORM SEWER LINE
- WATER LINE
- SANITARY SEWER LINE
- CURB AND GUTTER
- LIGHT POLE
- MANHOLE
- CATCH BASIN
- HYDRANT
- GATE VALVE
- INLET PROJECTION
- 3/4\"/>

PHASE II - FUTURE PROJECT

## DATA SUMMARY CHART PHASE I & II

|                         | EGRADE FTE | PERCENTAGE |
|-------------------------|------------|------------|
| BUILDING LOT            | 26,544.1   | 100.00%    |
| GARAGES                 | 47,088.00  | 20.00%     |
| PAVING/SURFACE          | 46,800.00  | 14.13%     |
| IMPROVED SURFACE AREA   | 12,877.54  | 13.81%     |
| MAX IMPROVED AREA (B-1) | 12,877.54  | 48.40%     |
| GRASS SPACE             | 129,367.37 | 48.34%     |

## ZONING: R-4 TYPE USES

## LEGAL DESCRIPTION

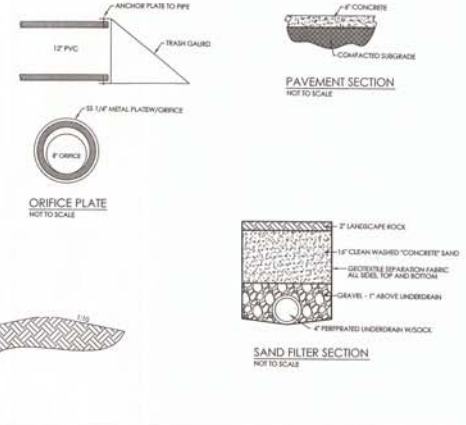
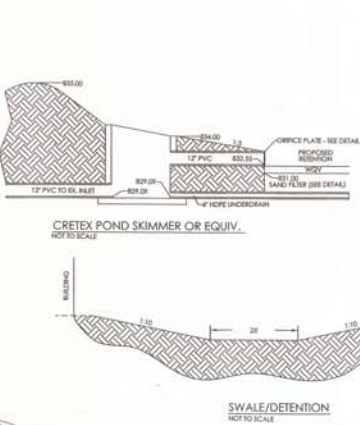
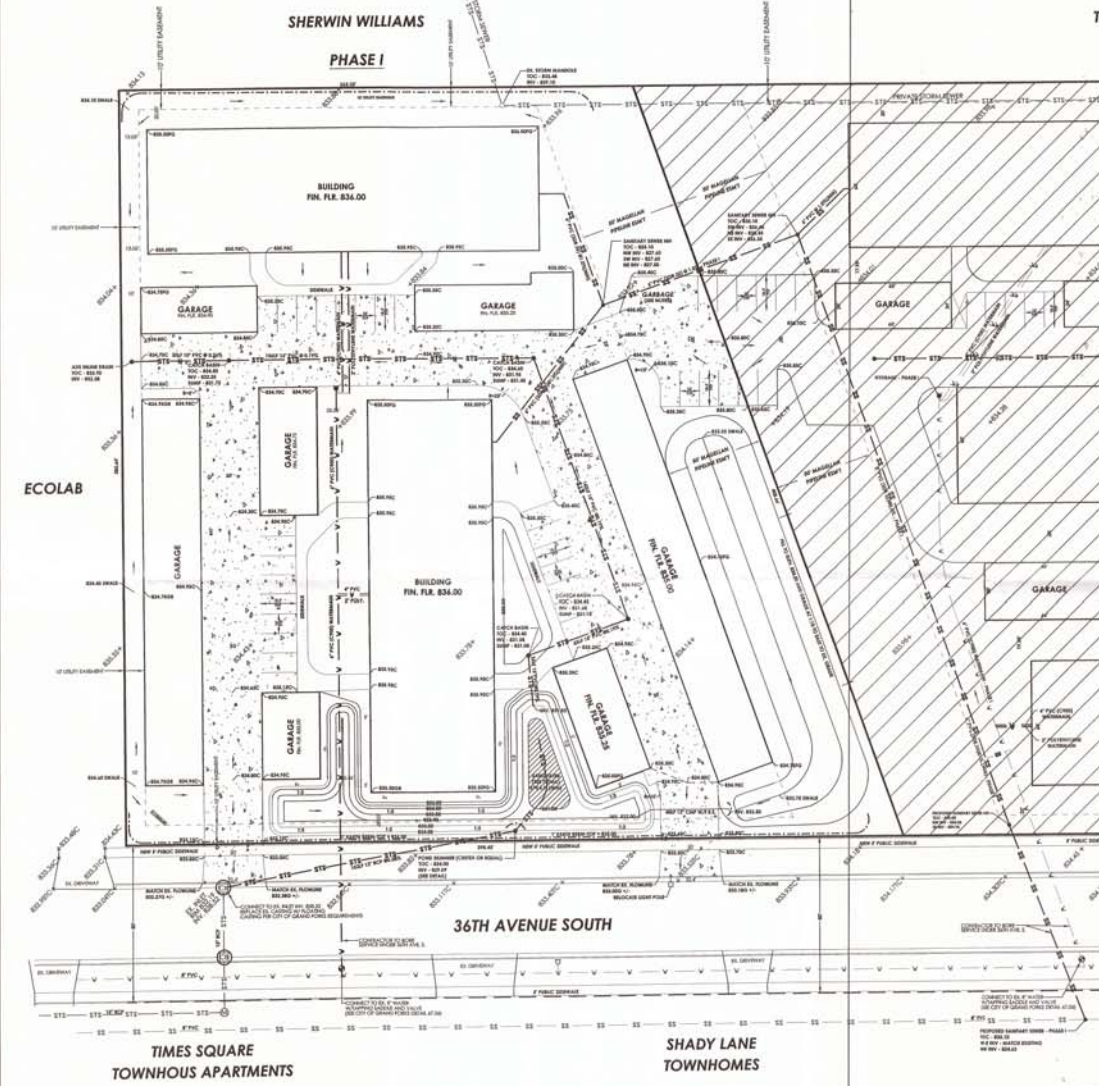
PHASE I - LOT 1 BLOCK 2 PERMS 148D ADDITION TO THE CITY OF GRAND FORKS, NORTH DAKOTA.

PHASE II - TRD - CURRENTLY A PORTION OF LOT BLOCK 2 PERMS 148D ADDITION TO THE CITY OF GRAND FORKS, NORTH DAKOTA.

## PARKING FORMULA PHASE I & II

MINIMUMLY (INCLUDING TOWNHOMES) ONE (1) BEDROOM; TWO (2) OFF STREET SPACES; TWO (2) BEDROOM; TWO AND ONE QUARTER OFF STREET SPACES (2) BEDROOM OR MORE TWO AND ONE-HALF (2.5) OFF STREET SPACES.

| PARKING REQUIREMENTS                          | REQ |
|---|-----|
| 1.5 - 1 BEDROOM UNITS (E.P. PARKING STALLS)   | 42  |
| 2.0 - 1.5 BEDROOM UNITS (E.P. PARKING STALLS) | 134 |
| ACCESSIBLE PARKING STALLS (PROGRAM)           | 8   |
| TOTAL PARKING REQUIRED                        | 174 |
| TOTAL GARAGE SPACES PROVIDED                  | 148 |
| TOTAL PARKING SPACES PROVIDED                 | 312 |
| TOTAL ACCESSIBLE PARKING PROVIDED             | 34  |



APPROVAL:  
 APPROVED BY: *[Signature]*  
 TITLE: *[Title]*  
 DATE: *[Date]*

| TOPOGRAPHIC SURVEY / SITE PLAN                |                                  | REVISED:     | DATE:               |
|---|----------------------------------|--------------|---------------------|
| PHASE I - 72 UNIT TOWNHOUSE APARTMENT COMPLEX |                                  | 8-3-2012     | 7-4-2012            |
| REQUESTED BY:                                 | RAMPTON CORPORATION, 3009 DAVIS  |              | DRAWN BY: MF        |
|   | 302 36TH AVENUE SOUTH            |              | SCALE: 1" = 30'     |
|   | GRAND FORKS, ND 58001            |              | DRAWING NO. 12-0704 |
| FRIBULA ENGINEERING                           | 800 GRAND AVE.                   | 701-772-7098 |                     |
|   | GRAND FORKS, NORTH DAKOTA, 58001 |              |                     |