

Cowger Roughrider Apartments

2530 17th Ave South
Grand Forks, North Dakota

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NOTES

THIS BUILDING IS A 12 PLEX APARTMENT WHICH REPLACES A 12 PLEX APARTMENT. EXISTING BUFFERYARDS HAVE BEEN ESTABLISHED AND WILL BE REUSED. PARKING SPOTS HAVE BEEN ADDED TO ACCOMMODATE CURRENT CITY PARKING REQUIREMENTS.

ALL UNDERGROUND UTILITY WORK PERFORMED WITH THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CITY OF GRAND FORKS STANDARD CONSTRUCTION SPECIFICATIONS. PRIOR TO DOING ANY WORK IN THE CITY RIGHT-OF-WAY THE CONTRACTOR SHALL CALL THE ENGINEERING DEPARTMENT 746-2640.

LANDSCAPING SHALL CONFORM TO SECTION 18-0309.

APPROACHES INSTALLED TO GRAND FORKS SPECIFICATIONS (INSTALLATION OF STANDARD APPROACHES MAY BE DELAYED IF STANDARD APPROACHES CANNOT BE INSTALLED AT THIS TIME DUE TO LACK OF AN URBAN SECTION).

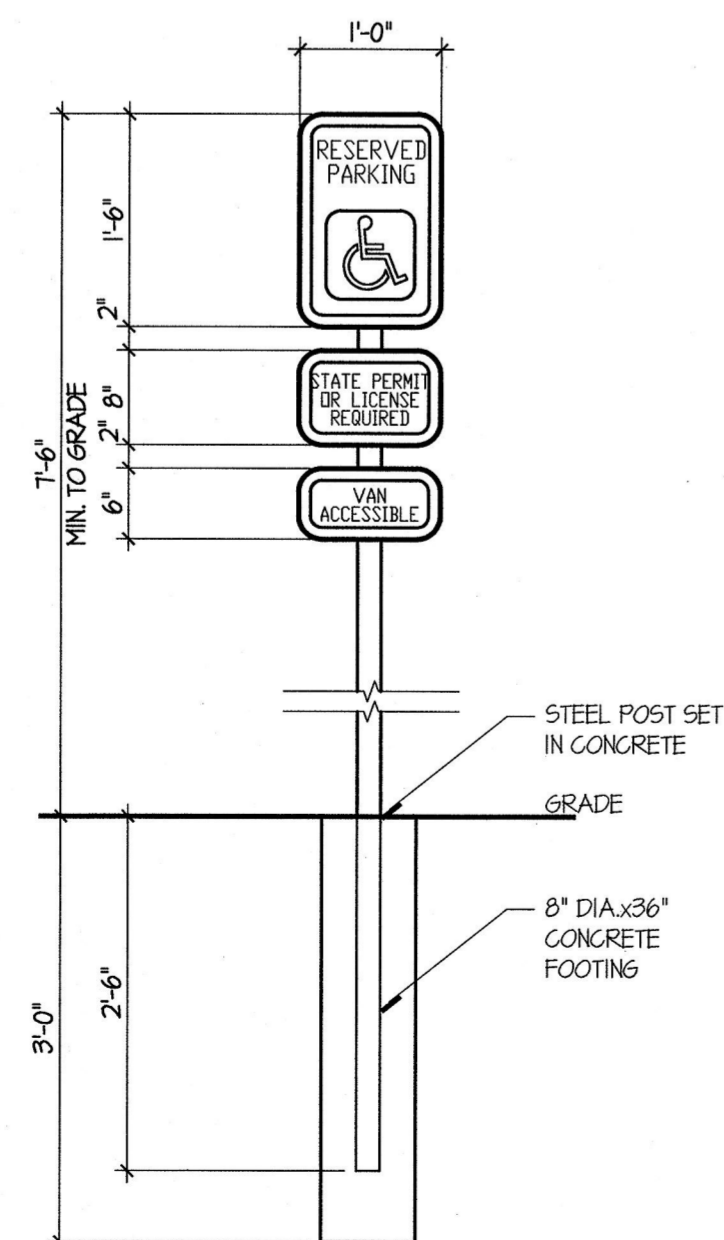
ALL SIGNS SHALL BE APPROVED BY THE GRAND FORKS PLANNING DEPARTMENT.

CONTACT CITY ENGINEERING DEPARTMENT FOR STORMWATER RUNOFF PERMIT REQUIREMENTS (JON MORGENROTH @ 701-746-2644) IF REQUIRED. GENERAL CONTRACTOR TO SUBMIT A STORMWATER RUNOFF PERMIT TO THE PLANNING DEPARTMENT, WHICH MUST BE APPROVED PRIOR TO FINAL SITE PLAN APPROVAL.

EXTERNAL STORAGE AREAS TO CONFORM TO SECTION 18-309 (3) (A).

DRIVEWAYS/APPROACHES TO REFUSE CONTAINERS SHALL BE CONSTRUCTED WITH 6" CONCRETE AND CLAY SUB-BASE COMPACTED TO 95% MAX DENSITY.

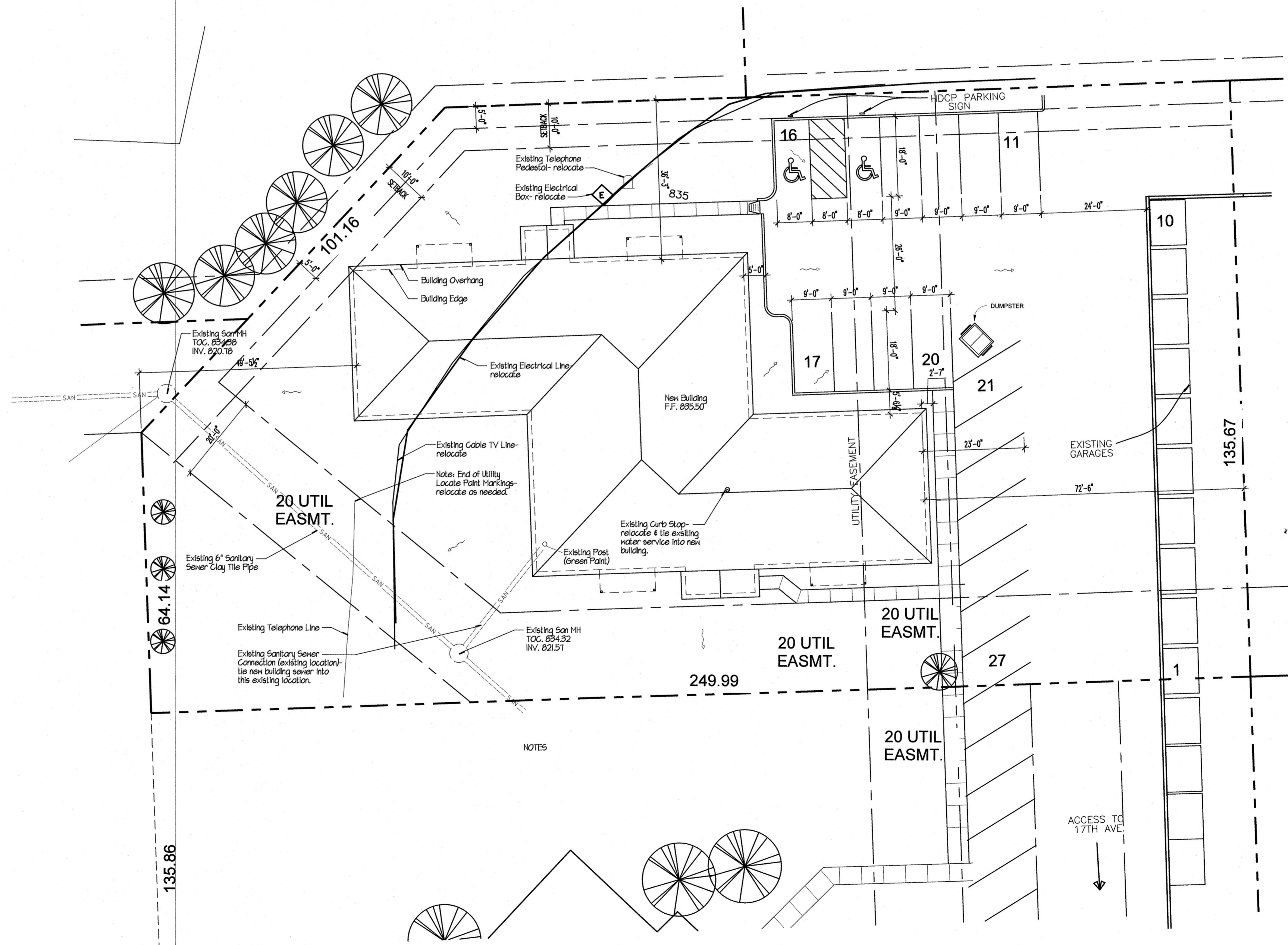
LEGAL DESCRIPTION		ADDRESS	
LOT 10, BLOCK 2 OF BLAIR-SATROM-BAUKOL SUBDIVISION		2530 17TH AVE SOUTH GRAND FORKS, ND	
SITE DATA		PARKING DATA	
PUD MF4		PARKING REQUIRED FOR MULTIFAMILY, INCLUDING TOWNHOMES = 2 BEDROOM = 2.25 OFF-STREET SPACES x 12 UNITS = 27	
BUILDING LOT (0.74 ACRES)	SQ. FT. % 31,276 100	TOTAL SPACES REQUIRED = 27 PARKING PROVIDED = 27	
BUILDING AREA	6,238 19.9	ADA PARKING REQUIRED = 2 SPACES ADA PARKING PROVIDED = 2 SPACES	
PAVED AREA (DETACHED GARAGES, SIDEWALKS & PARKING)	10,959 35.0		
GREEN SPACE	14,079 45.1		
TOTAL IMPERVIOUS SURFACE AREA	17,197 54.9		
MAX IMPERVIOUS SURFACE AREA ALLOWED	17,201 55		
BUILDING HEIGHT (PROVIDED = 36'-0")			
LEGEND			
---	PROPERTY LINE	---	DRAINAGE DIRECTION
---	EASEMENT	○	MANHOLE / INLET
---	SETBACK	○	FIRE HYDRANT
---	WATER LINE		
---	STORM SEWER		
---	SANITARY SEWER		
APPROVAL			
APPROVED BY: <i>Praxue Arhman</i>			
TITLE: <i>Planner</i>			
DATE: <i>November 5, 2012</i>			



DETAIL @ H.C. SIGNAGE
NOT TO SCALE

2
A001

SITE PLAN
SCALE: 1/16" = 1'-0"



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4050 GARDEN VIEW DRIVE
SUITE 101
GRAND FORKS, ND 58201
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STRUCTURAL
ICON Architectural Group
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(701) 772.4266 Office
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MECHANICAL

ELECTRICAL

CIVIL

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF NORTH DAKOTA
PRINT NAME: TODD D. MITZEL

SIGNATURE: *Todd D. Mitzel*
DATE: 10/30/12
LICENSE #: 1330

PHASE
Construction Documents

DATE
10/30/12

SITE PLAN

SHEET
A001