

SIMONSON STATION STORE PROJECT

1402 SO. WASHINGTON STREET, GRAND FORKS, ND

SPRING 2013

B-3 BUSINESS DISTRICT GROUP M OCCUPANCY



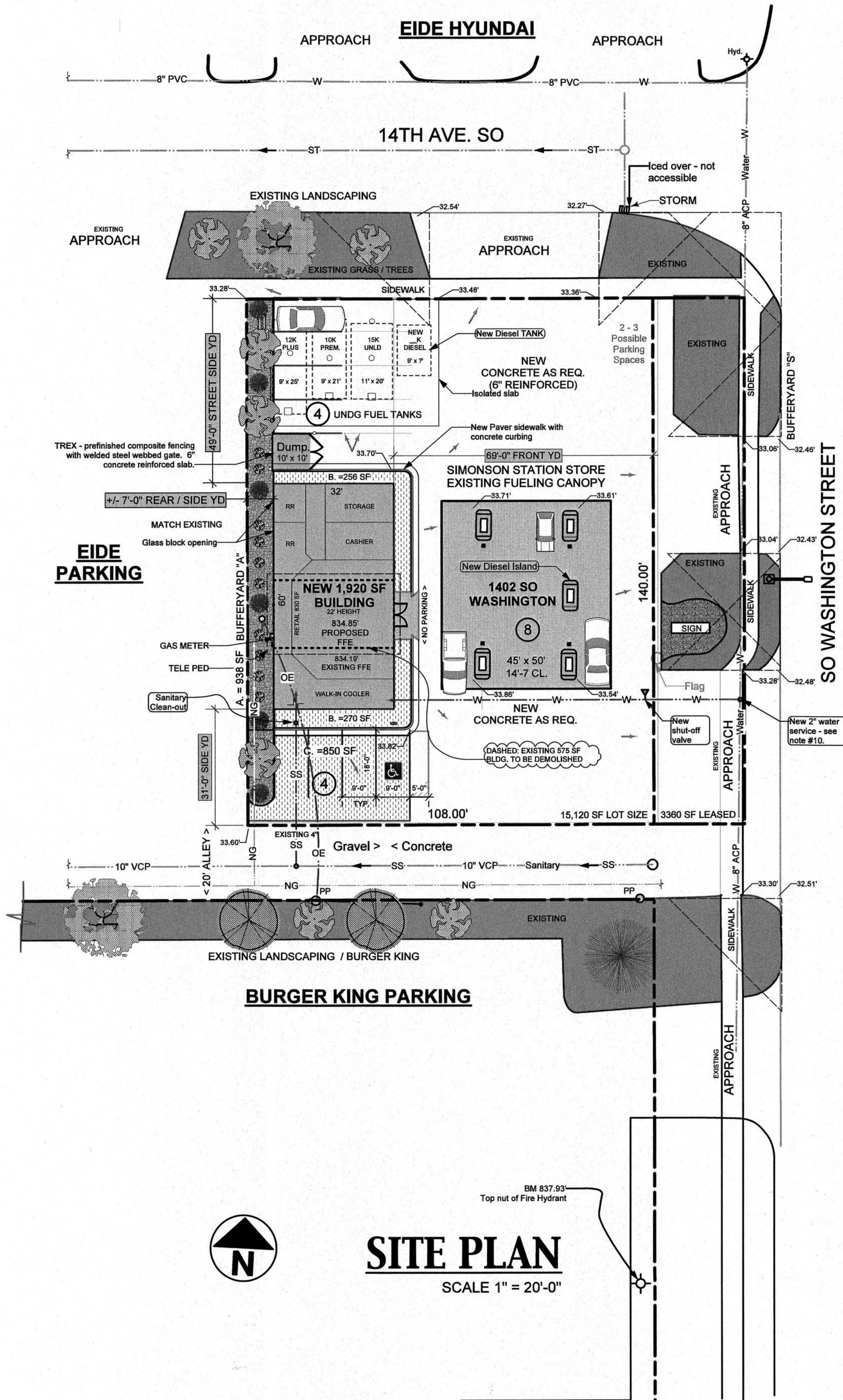
VICINITY MAP OF 1402 SO. WASHINGTON ST.

PROJECT SUMMARY

- 1.] DEMOLISH EXISTING 575 SF BUILDING AND FOUNDATION.
- 2.] CONSTRUCT NEW 1,920 SF BUILDING.
- 3.] INSTALL ONE NEW DIESEL FUEL DISPENSER WITH ISLAND.
- 4.] INSTALL ONE NEW UNDERGROUND FUEL TANK PER CODE.
- 5.] REPLACE FUEL LINES WITH DOUBLE WALL CONTAINMENT AS NECESSARY.
- 6.] INSTALL FOUR NEW DISPENSERS WITH CONTAINMENT SUMPS.
7. REPLACE / PATCH CONCRETE AS NECESSARY. USE 6" REINFORCED.
8. RECONFIGURE WEST SIDE BERM WITH NEW LANDSCAPING. LEAVE OTHER BERMS AS EXISTING.
9. TAP EXISTING 8" ACP WATER LINE FOR NEW 2" POLY WATER SERVICE TO NEW BUILDING. ABANDON AND CAP OLD WATER SERVICE. PROVIDE NEW METER (SIZED BY MECHANICAL CONTRACTOR).
10. THE POSSIBILITY OF A BASEMENT (OR PARTIAL BASEMENT) IS BEING STUDIED FOR INCLUSION IN THIS PROJECT. HOWEVER, AT THIS TIME - WE ARE NOT PLANNING A BASEMENT. SHOULD WE INCLUDE A BASEMENT IN THE BUILDING PERMIT SUBMITTAL PLANS - WE WILL ABIDE BY CITY ENGINEERING'S RECOMMENDATIONS FOR SUMP DISCHARGE AND / OR GRADE ELEVATIONS.

GENERAL NOTES

1. APPROACH WORK (IF REQUIRED) WILL BE BY LICENSED CONTRACTORS AND PER THE CITY OF GRAND FORKS SPECIFICATIONS.
2. THE PROPOSED REDEVELOPMENT PROJECT IS ON A SITE LESS THAN 20,000 SQUARE FEET AND THEREFORE IS EXEMPT FROM THE STORMWATER MANAGEMENT REQUIREMENTS FOUND IN CHAPTER XV, ARTICLE 9 OF THE GRAND FORK'S CODE OF CITY ORDINANCES.



SITE PLAN

SCALE 1" = 20'-0"

LEGAL

Parcel Number 3203.380.00
Complex Name SIMONSON STATION STORE
Address 1402 S WASHINGTON ST
Addition VILLARD'S ADDITION
Legal Desc Line 1 1402 S. WASH. ST.
Legal Desc Line 2 LOTS 2,3 & 4 & LOT A, REPLAT B32
Legal Desc Line 3 OF LOTS 5 & 6
Owner Name SIMONSON STATION STORES, INC
B-3 BUSINESS DISTRICT ZONING
GROUP M OCCUPANCY

SURFACE AREA CALCULATION

LOT SIZE	15,120 SF	
PERVIOUS AREA SHOWN		
A. 938 SF		
B. 591 SF (PAVERS / PERVIOUS CONCRETE)		
C. 850 SF (PAVERS / PERVIOUS CONCRETE)		
TOTAL PERVIOUS	2,379 SF	15.7 %
IMPERVIOUS AREA SHOWN		
	12,741 SF	84.3 %
IMPERVIOUS AREA ALLOWED		
	12,852 SF	85 %

PARKING CALCULATION

PARKING REQUIRED	CODE	REQUIRED
	1 SPACE PER 150 SF OF RETAIL	
PARKING REQUIRED	1 SPACE PER 200 SF STORAGE/OFFICE	
RETAIL SIZE	830 SF	6 SPACES
STORAGE OFFICE SIZE	1090 SF	6 SPACES
TOTAL BUILDING SIZE	1920 SF	
TOTAL SPACES REQUIRED		12 SPACES
SPACES SHOWN		
SPACES SHOWN	TYPICAL PARKING	8 SPACES
	FUELING POSITIONS	8 SPACES
TOTAL SPACES PROVIDED		16 SPACES

LANDSCAPING

BY OPP LANDSCAPING

KEY

- SHRUB
- ORNAMENTAL TREE
- SHADE TREE

BUFFERYARD "S": TWO SHADE TREES PER 100' (LEAVE AS EXISTING)

BUFFERYARD "A": INSTALL TWO SHADE TREES, FOUR ORNAMENTAL TREES AND SIX SHRUBS PER 100.

oppconstruction.com

Wayne Pietruszewski
Landscape Operations Manager

CONSTRUCTION

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YARD REQUIREMENTS (Corner Lot)

YARD	CODE	PROVIDED
FRONT	25'0"	69'0"
SIDE 1	7'0"	31'0"
STREET SIDE	25'0"	49'0"
SIDE 2****	7'0"	7'0"

****NOTE: EXISTING BUILDING HAS A +/- 7' SETBACK FROM THE WEST PROPERTY LINE. WE INTEND TO PLACE THE NEW STRUCTURE AT THE SAME SETBACK.

UTILITY KEY

- W...W... CITY WATER
- SS...SS... SANITARY SEWER
- ST...ST... STORM SEWER
- NG...NG... NATURAL GAS
- T...T... TELEPHONE
- OE...OE... OVERHEAD ELECTRIC

ALL UTILITY LOCATIONS TO BE VERIFIED WITH SITE LOCATION SERVICES PRIOR TO ANY EXCAVATION OR SITE MODIFICATIONS.

PLAN APPROVAL BLOCK

☐ Plan approved as submitted.

☐ Plan approved as noted.

Approved by:

Title / Department:

Name:

Wayne Pietruszewski, Senior Planner

Date:

April 4, 2013

Date: 3/30/13

Time: 4:00:50 PM

File name: Sim_So Wash v2013.vvw

INNES CONSTRUCTION, CO. INC.

General Contractor
Construction Management

INNES CONSTRUCTION

IMPORTANT NOTICE:
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SIMONSON STATION STORE
1402 SO. WASHINGTON ST.
GRAND FORKS, ND 58201

Drawn by:
SVW

Scale:
As shown

Station Stores

A-1